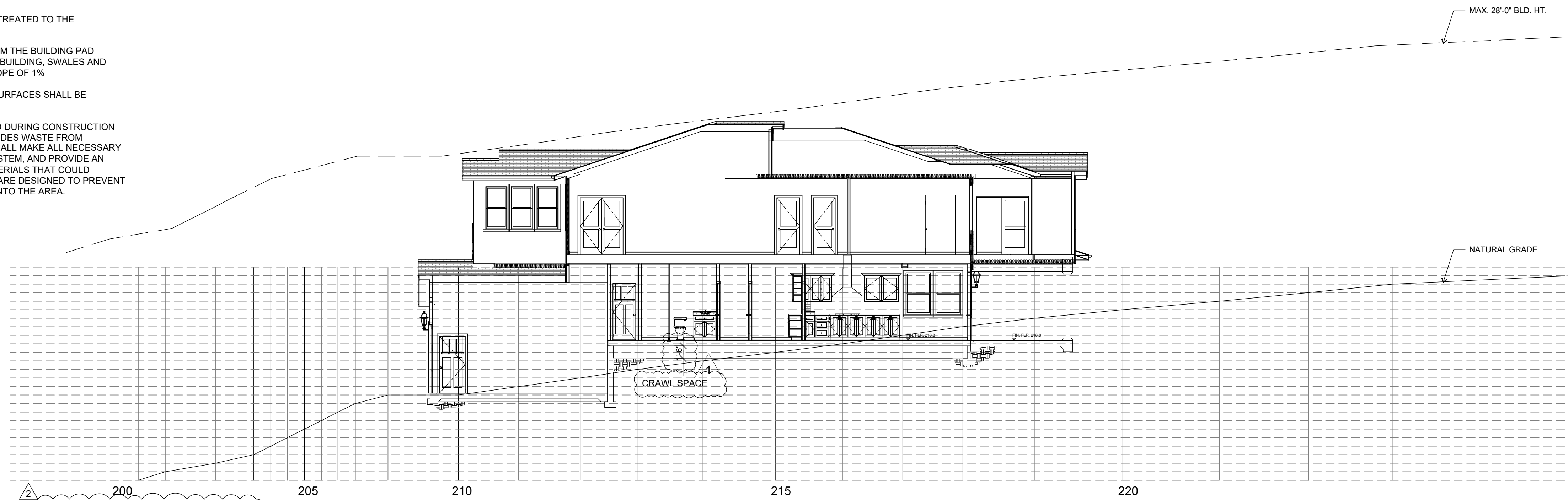
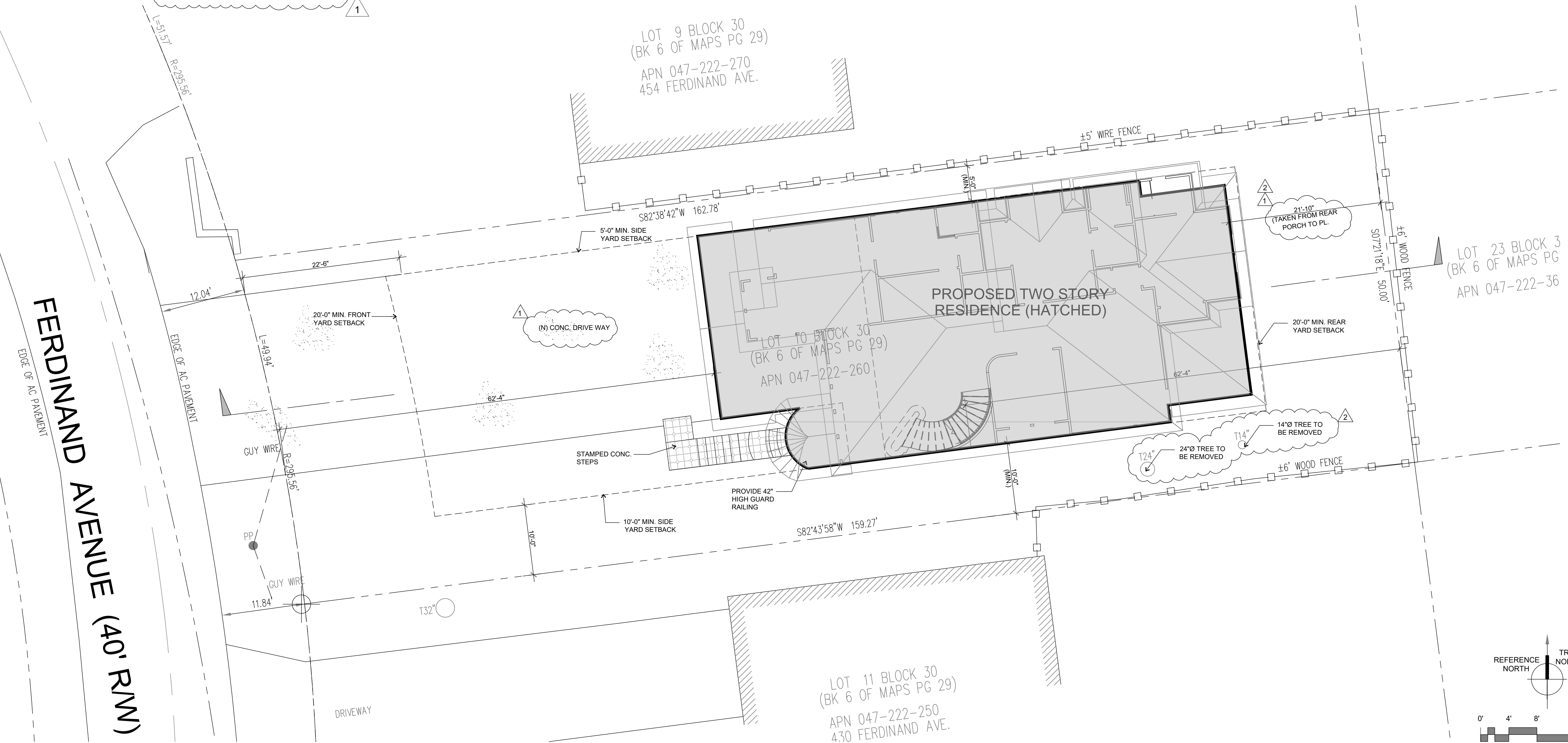


SITE PLAN NOTES:

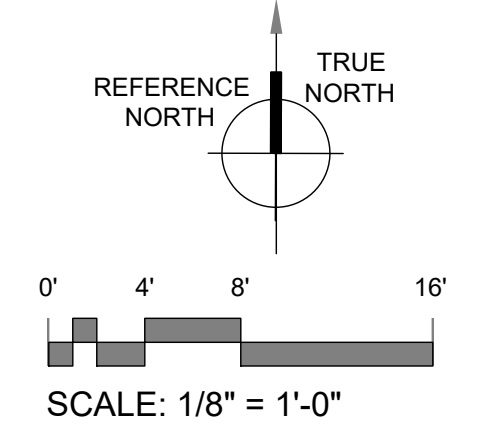
1. RAIN LEADERS ON THE DWELLING SHALL DRAIN TO LANDSCAPING AND TREATED TO THE MAXIMUM EXTENT PRACTICABLE.
2. A MINIMUM SLOPE OF 5% FOR A DISTANCE OF TEN FEET (MINIMUM) FROM THE BUILDING PAD IS REQUIRED FOR DRAINAGE. BEYOND THE 10' ENVELOPE AROUND THE BUILDING, SWALES AND ASPHALT CONCRETE PAVEMENT AREAS MUST DRAIN AT A MINIMUM SLOPE OF 1%.
3. SURFACE DRAINAGE MUST BE FILTERED. RUNOFF FROM IMPERVIOUS SURFACES SHALL BE TREATED BY LANDSCAPING TO THE MAXIMUM EXTENT PRACTICABLE.
4. DUST SHALL BE CONTROLLED AT ALL TIMES. WASTEWATER GENERATED DURING CONSTRUCTION SHALL NOT BE DISCHARGED TO THE STORM DRAIN SYSTEM. THIS INCLUDES WASTE FROM PAINTING, SAW CUTTING, CONCRETE WORK, ETC. THE CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS TO ELIMINATE DISCHARGES TO THE STORM DRAIN SYSTEM, AND PROVIDE AN AREA FOR ON-SITE WASHING ACTIVITIES DURING CONSTRUCTION. MATERIALS THAT COULD CONTAMINATE STORM RUNOFF SHALL BE STORED IN THE AREAS THAT ARE DESIGNED TO PREVENT EXPOSURE TO RAINFALL AND TO NOT ALLOW STORM WATER TO RUN ONTO THE AREA.



2 SITE SECTION
SCALE: 1/8" = 1'-0"



1 SITE PLAN
SCALE: 1/8" = 1'-0"



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SOLAR MAX DESIGN
solarmax.dsgn@gmail.com
www.solarmaxdsgn.com
TEL: (310) 740-9649
(310) 844-7370

[Signature]
Signature

OWNER:

CONSULTANTS:

SEAL:

PROJECT NAME:

CUSTOM HOME RESIDENCE
REMODEL

FERDINAND AVE.
EL GRANADA, CALIFORNIA
APN: 047-222-260

REV.	DESCRIPTION:	DATE:
A		
B		
C		

DATE:

7/10/2023

SHEET TITLE:

FLOOR PLANS

SHEET NUMBER:

C1.0

FULL SIZE PRINT: D = 24"X36"

FND RRS AT THE INTERSECTION OF AVENUE DEL TORO & FERDINAND AVE. (28 LLS 5)

N 53°19'13" W 220.13' (CALC.)
(BASIS OF BEARINGS)

SSMH
TEMPORARY BENCHMARK
ELEV = 196.85

FND IP
(28 LLS 5)

LOT 9 BLOCK 30
(BK 6 OF MAPS PG 29)
APN 047-222-270
454 FERDINAND AVE.

LOT 10 BLOCK 30
(BK 6 OF MAPS PG 29)
APN 047-222-260

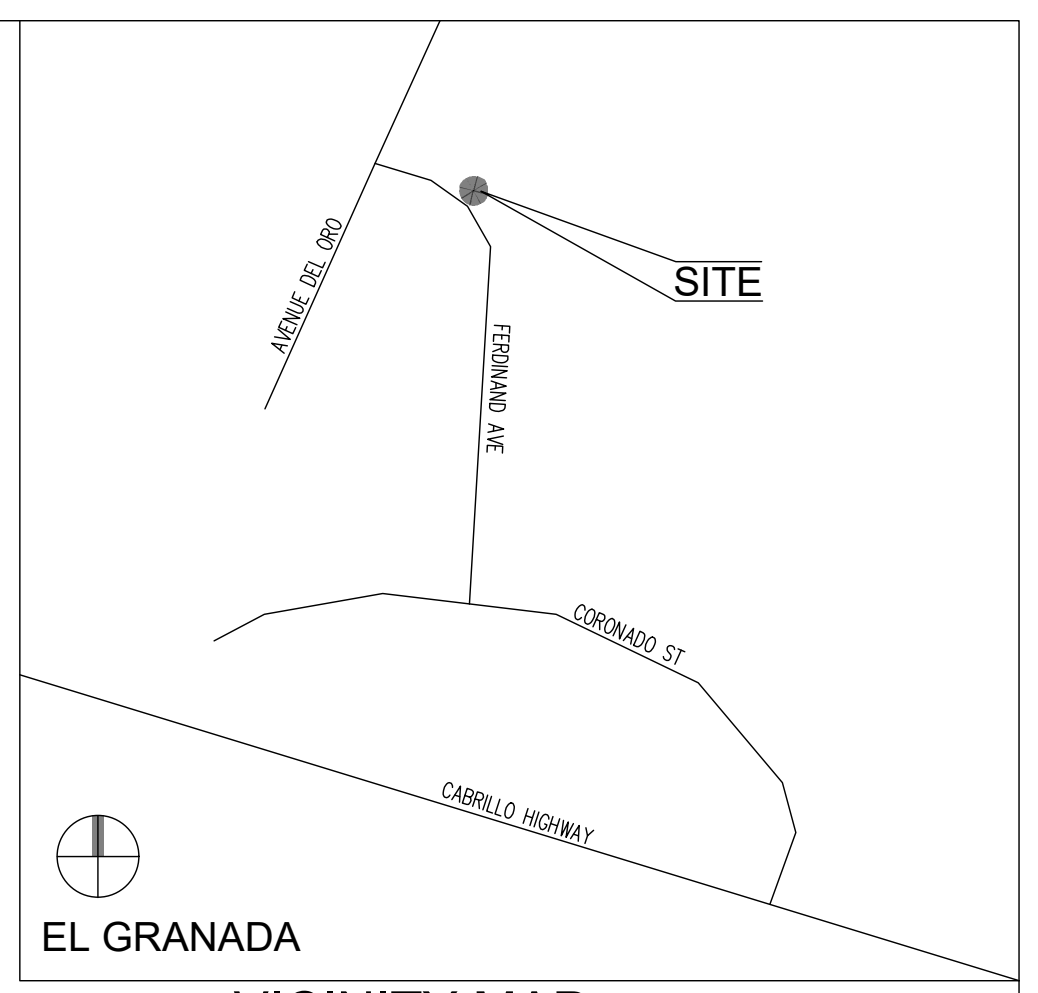
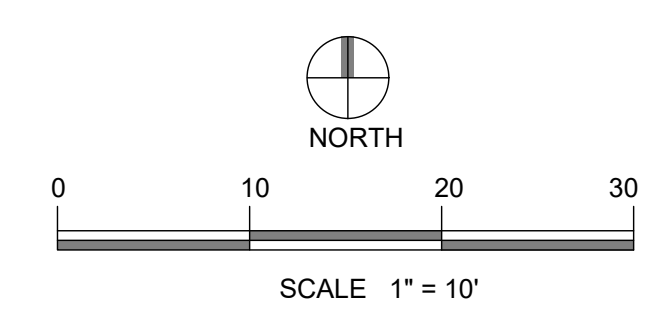
LOT 23 BLOCK 30
(BK 6 OF MAPS PG 29)
APN 047-222-360

LOT 11 BLOCK 30
(BK 6 OF MAPS PG 29)
APN 047-222-250
430 FERDINAND AVE.

FERDINAND AVENUE (40' RM)
EDGE OF AC PAVEMENT

EDGE OF AC PAVEMENT

DRIVEWAY
L=58.0', R=235.36'



BASIS OF BEARINGS
THE CALCULATED BEARING BETWEEN FOUND RAILROAD SPIKE AND IRON PIPE AS SHOWN ON BK 28 LLS MAPS PAGE 5 SAN MATEO COUNTY RECORDS.

BENCHMARK
RIM OF SANITARY SEWER MANHOLE ALONG FERDINAND AVENUE ELEVATION 196.85 WAS USED AS A TEMPORARY BENCHMARK FOR THIS SURVEY.

- LEGEND & ABBREVIATIONS**
- PROPERTY LINE
 - - - ADJACENT PROPERTY LINE
 - CENTER LINE
 - FND IRON PIPE
 - ▲ FND RAILROAD SPIKE
 - T10" TREE & DIAMETER
 - + 206.58 SPOT ELEVATION
 - APN ASSESSORS PARCEL NUMBER
 - AC ASPHALT CONCRETE
 - BC BACK OF CURB, BLDG CORNER
 - CALC CALCULATED
 - CONC CONCRETE
 - CL CENTER LINE
 - (E) EXISTING
 - EP EDGE OF PAVEMENT
 - FND FOUND
 - FF FINISH FLOOR
 - G GROUND
 - LP LIGHT POST, CURB & GUTTER
 - P PAVEMENT
 - PP POWER POLE
 - PST POST
 - R/W RIGHT OF WAY
 - TBM TEMPORARY BENCHMARK
- CONTOUR INTERVAL = 1.00 FEET

- REFERENCES:**
1. GRANADA SUB. NO. 4 RSM 6/38
 2. LLS BK 28 PG 5

H. G. CAAMPUED & ASSOCIATES
CIVIL ENGINEERS + LAND SURVEYORS + CONSTRUCTION MANAGERS
523 16TH STREET, MODESTO, CA 95354
TEL. NO. 510-648-4276

H. G. CAAMPUED P.E., PHD
CA RCE # 29000 EXP. 03/31/21

DATE	PROJECT	OWNER	SHEET CONTENT	SHEET NO.
01-31-21	TOPOGRAPHIC SURVEY	FERDINAND AVENUE EL GRANADA CALIFORNIA	TOPOGRAPHIC PLAN	C1.1

TOPOGRAPHIC SURVEY
A P N 047-222-260
FERDINAND AVENUE EL GRANADA CALIFORNIA

OWNER
FERDINAND AVENUE EL GRANADA CALIFORNIA

SHEET CONTENT
TOPOGRAPHIC PLAN

SHEET NO.
C1.1



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Signature

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SEAL:

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CUSTOM HOME RESIDENCE
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FERDINAND AVE.
 EL GRANADA, CALIFORNIA
 APN: 047-222-260

REV: DESCRIPTION: DATE:

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7/10/2023

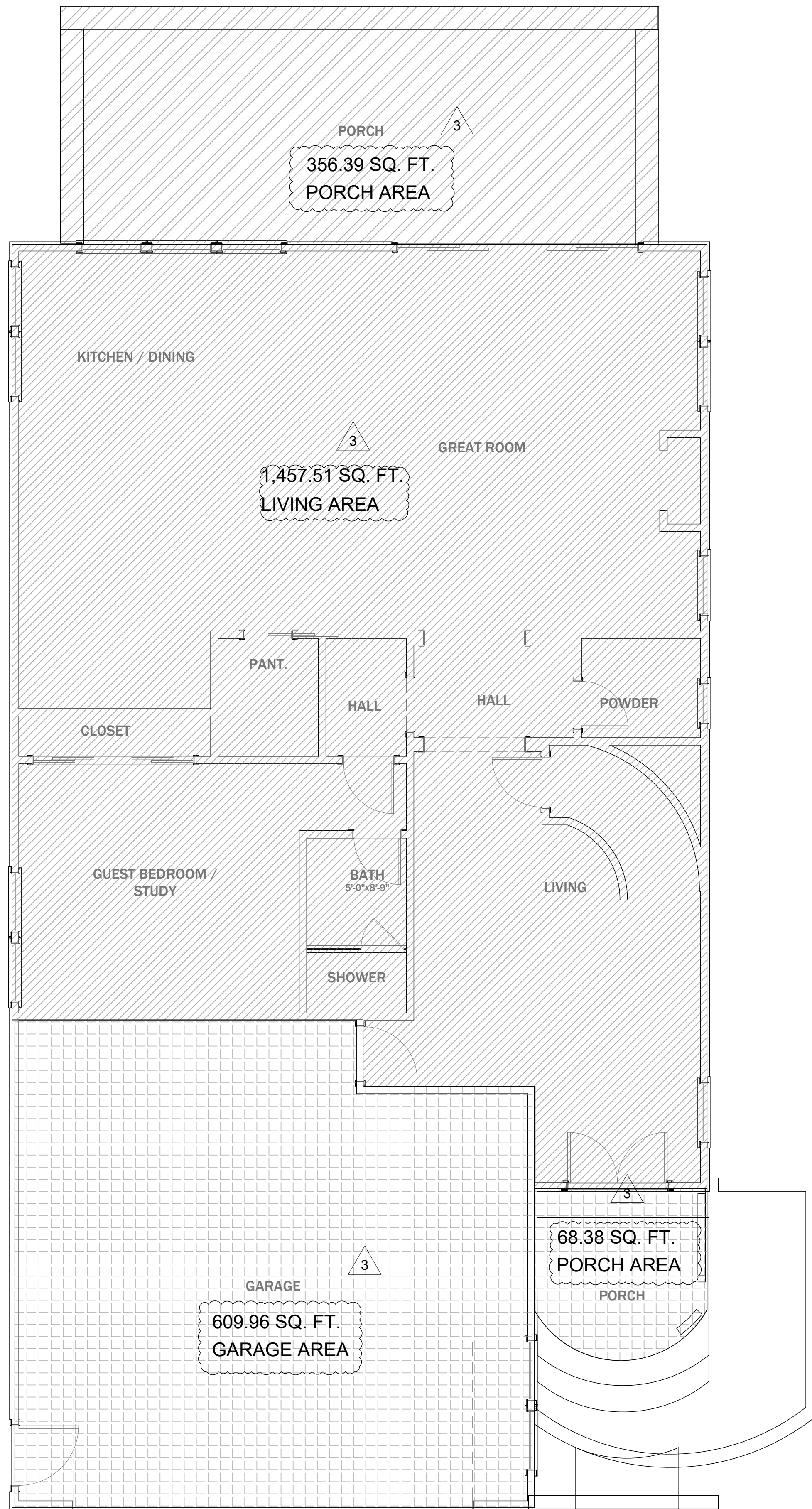
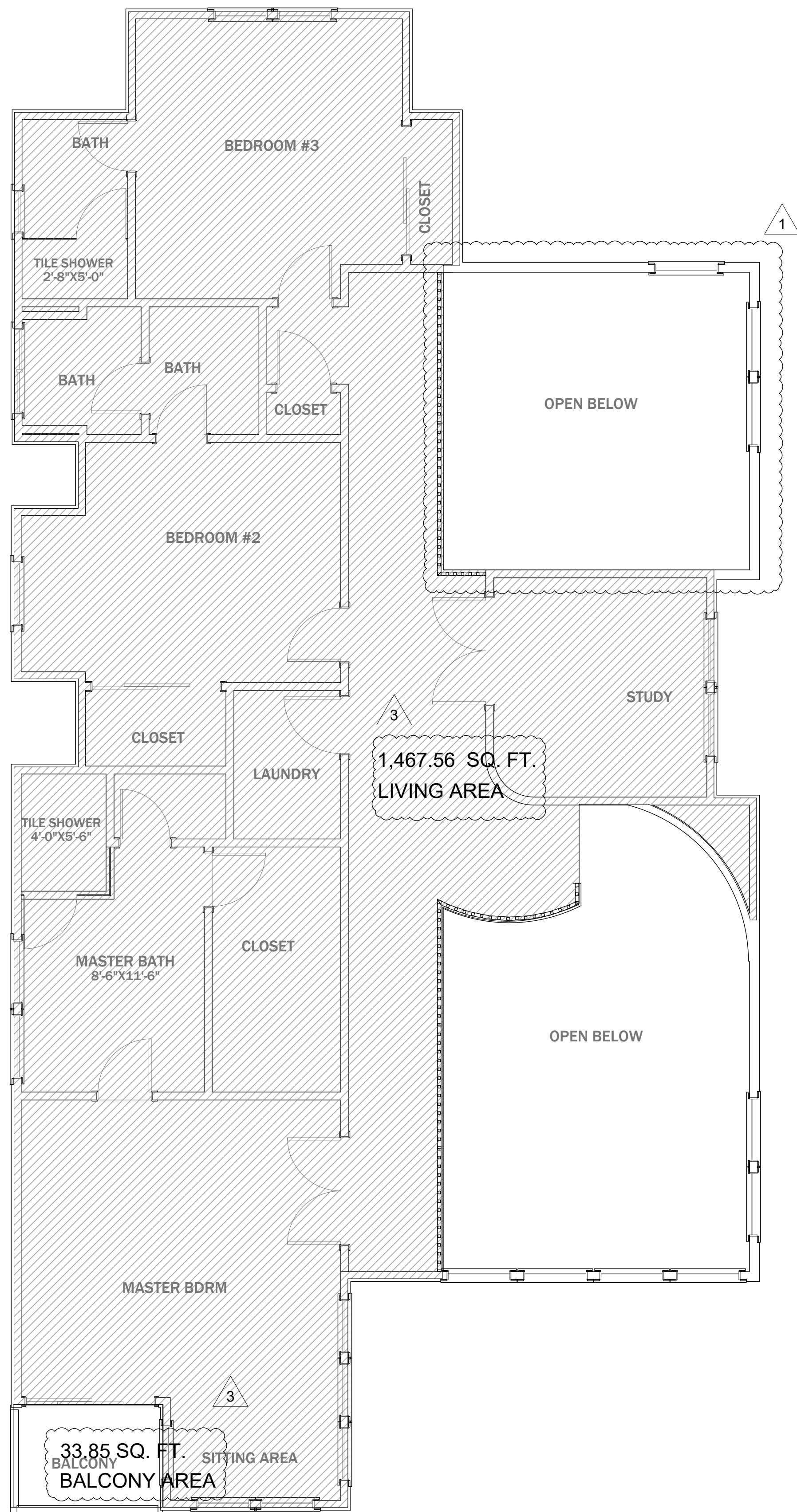
SHEET TITLE:

FLOOR PLANS

SHEET NUMBER:

A1.0

FULL SIZE PRINT: D = 24"x36"

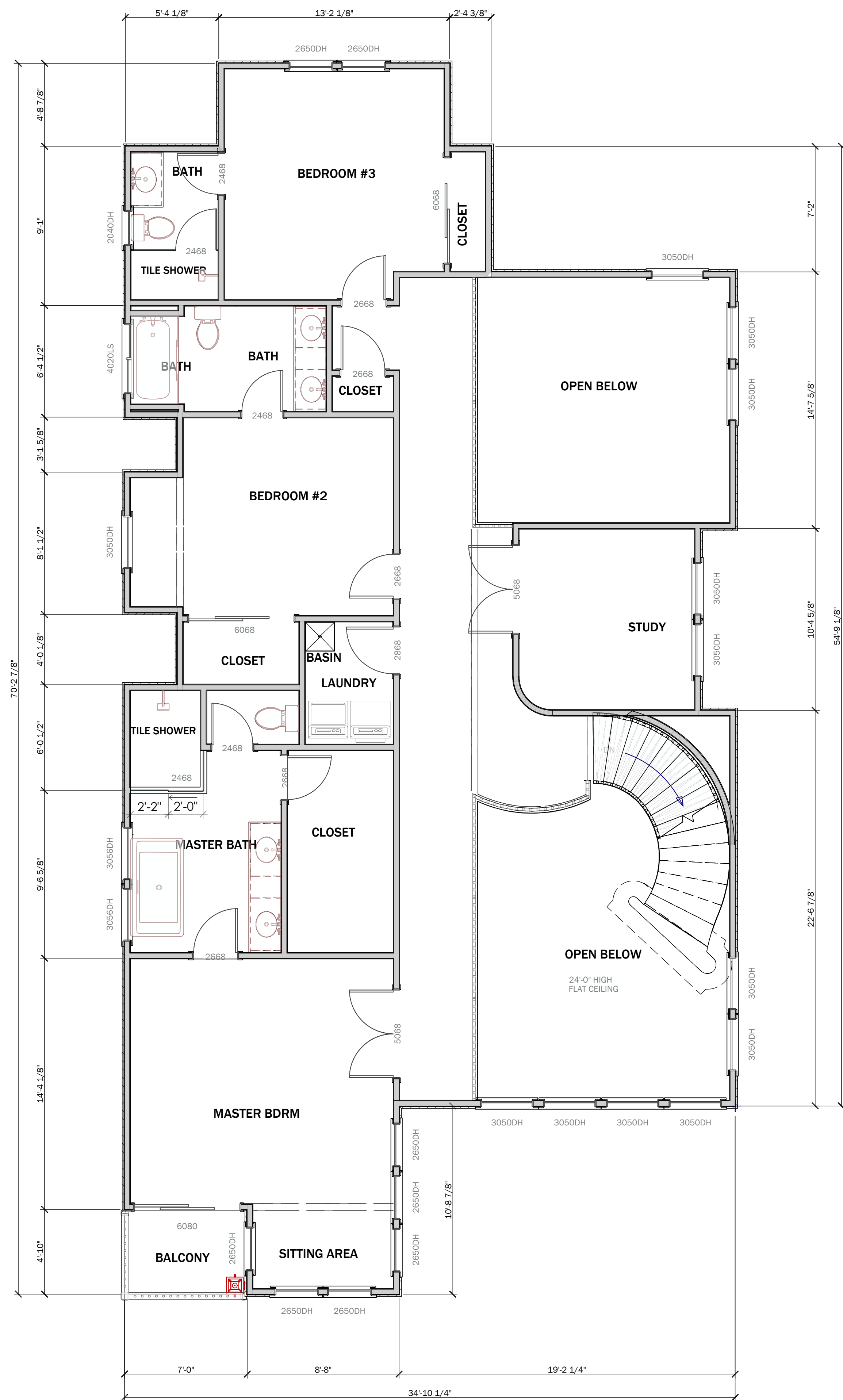


NOTES

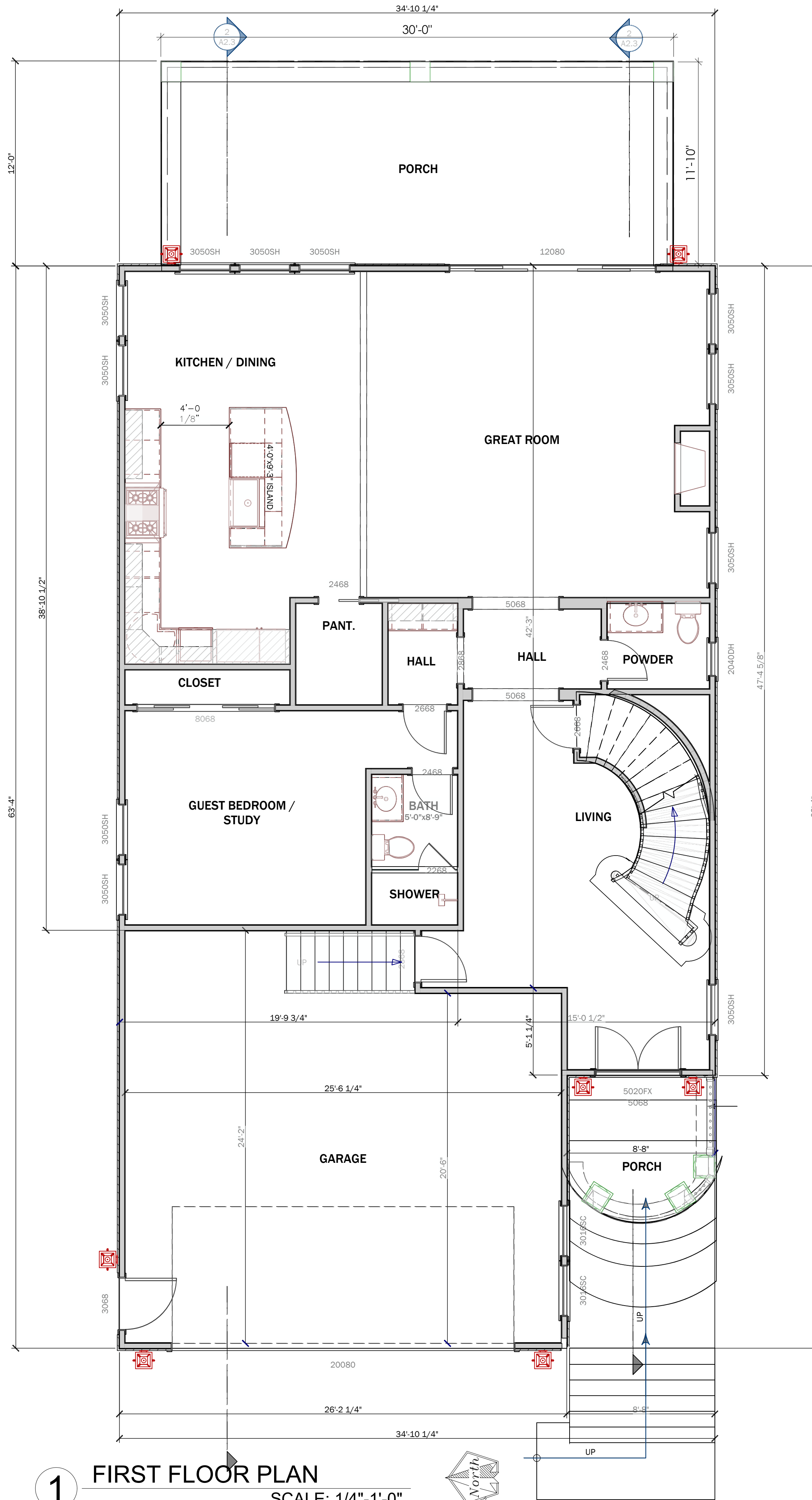
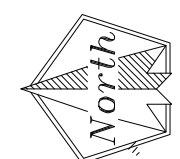
1. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN THE FEET OR ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
2. AN APPROVED SEISMIC GAS SHUT OFF VALVE OR EXCESS FLOW SHUT OFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN-STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL PIPING. (PER ORDINANCE 170,158 AND 180,670) SEPARATE PLUMBING PERMIT IS REQUIRED.
3. PROVIDE ULTRA-FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
4. PROVIDE (72) INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE. (1210.2.3 , 2406.4.5 , R307.2 , R308.4)
5. WATER HEATER MUST BE STRAPPED TO WALL, (507.3 & LAPC)

AREA CALCULATIONS:

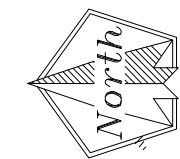
FIRST FLOOR	= 1,457.51 S.F.
SECOND FLOOR	= 1,467.56 S.F.
GARAGE	= 609.96 S.F.
REAR PORCH	= 356.39 S.F.
ENTRY PORCH	= 68.38 S.F.
BALCONY	= 33.85 S.F.
TOTAL CONDITIONED AREA	= 3,712 S.F.
TOTAL BUILDING AREA	= 3,996.65 S.F.
LOT COVERAGE:	2,495.24
LOT AREA:	= 7,996 S.F.
BLD'G FOOT PRINT	= 2,495.24 S.F.
LOT COVERAGE	= 2,495.24 / 7,996 = 31% (35% MAX)
FLOOR AREA RATIO	= 3,996.65 / 7,996 = 50% (F.A.R.) (.53% MAX)
MAXIMUM FLOOR AREA	= 4,237.88 (0.53%)
MAXIMUM LOT COVERAGE	= 2,798.6 (35%)



2 SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



1 FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



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Signature

OWNER:

CONSULTANTS:

SEAL:

PROJECT NAME:

CUSTOM HOME RESIDENCE
REMODEL

FERDINAND AVE.
EL GRANADA, CALIFORNIA
APN: 047-222-260

REV: DESCRIPTION: DATE:

A		
B		
C		

DATE:

7/10/2023

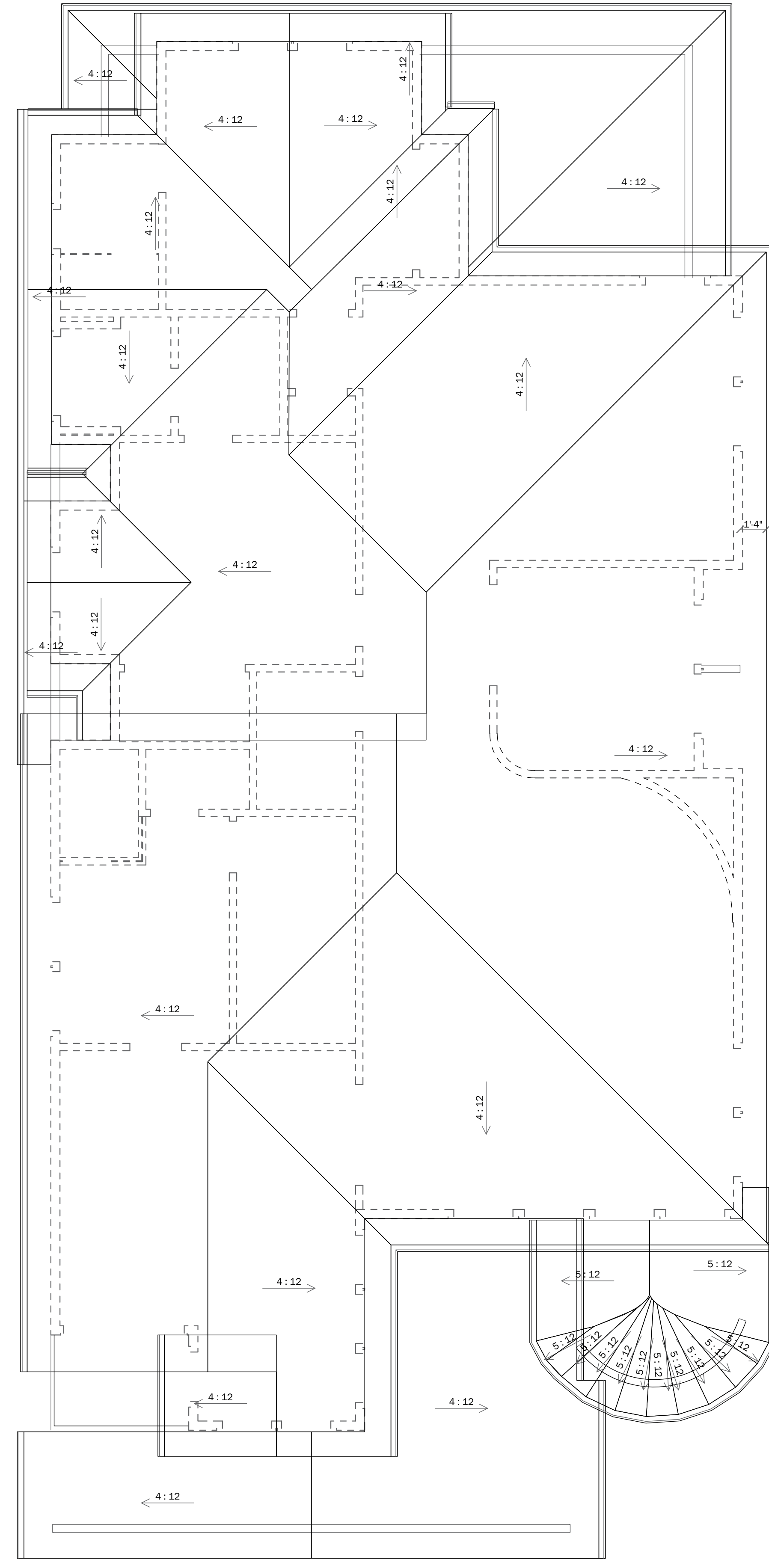
SHEET TITLE:

FLOOR PLANS

SHEET NUMBER:

A1.1

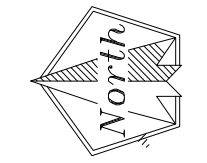
FULL SIZE PRINT: D = 24"X36"



1

ROOF PLAN

SCALE: 1/4"=1'-0"



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[Handwritten Signature]
 Signature

OWNER:

CONSULTANTS:

SEAL:

PROJECT NAME:

CUSTOM HOME RESIDENCE
 REMODEL

FERDINAND AVE.
 EL GRANADA, CALIFORNIA
 APN: 047-222-260

REV.	DESCRIPTION:	DATE:
A		
B		
C		

DATE:

7/10/2023

SHEET TITLE:

ROOF PLAN

SHEET NUMBER:

A1.2



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ARCHITECTURAL & SOLAR PLANS

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[Signature]
Signature

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CUSTOM HOME RESIDENCE
REMODEL
FERDINAND AVE.
EL GRANADA, CALIFORNIA
APN: 047-222-260

REV: DESCRIPTION: DATE:

A		
B		
C		

DATE:

04/04/2042

SHEET TITLE:

ELEVATIONS

SHEET NUMBER:

A2.1

FULL SIZE PRINT: D = 24"x36"



3 RIGHT ELEVATION
SCALE: 1/4"=1'-0"



2 REAR ELEVATION
SCALE: 1/4"=1'-0"



1 FRONT ELEVATION
SCALE: 1/4"=1'-0"



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Signature

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SEAL:

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CUSTOM HOME RESIDENCE
 REMODEL

FERDINAND AVE.
 EL GRANADA, CALIFORNIA
 APN: 047-222-260

REV.	DESCRIPTION:	DATE:
A		
B		
C		

DATE:
 7/10/2023

SHEET TITLE:

ELEVATIONS

SHEET NUMBER:

A2.2

FULL SIZE PRINT: D = 24"X36"



1 LEFT SIDE ELEVATION (NORTH SIDE)
 SCALE: 1/4"=1'-0"



2 LONGITUDINAL BUILDING SECTIONS
SCALE: 1/4"=1'-0"



1 LONGITUDINAL BUILDING SECTIONS
SCALE: 1/4"=1'-0"



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CONSULTANTS:

SEAL:

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CUSTOM HOME RESIDENCE
REMODEL

FERDINAND AVE.
EL GRANADA, CALIFORNIA
APN: 047-222-260

REV.	DESCRIPTION:	DATE:
A		
B		
C		

DATE:

7/10/2023

SHEET TITLE:

SECTIONS

SHEET NUMBER:

A2.3

FULL SIZE PRINT: D = 24"X36"



REFERENCE PURPOSE ONLY™



REFERENCE PURPOSE ONLY™



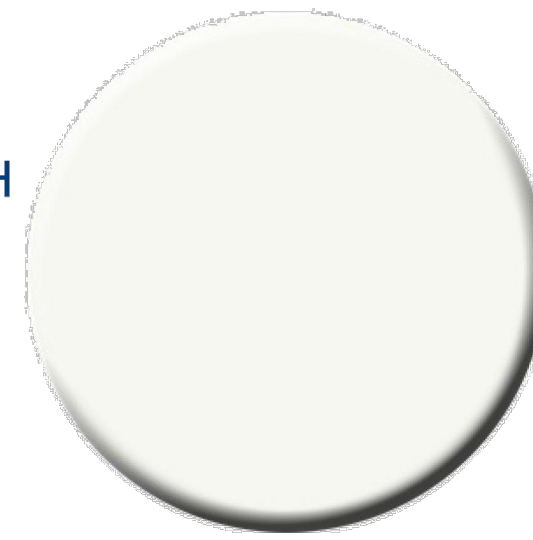
REFERENCE PURPOSE ONLY™



REFERENCE PURPOSE ONLY™



BODY: OMEGA TEXTURED STUCCO SIDING WITH SHERWIN WILLIAMS OYSTER BAR SW 7565



TRIM & ACCENT: SHERWIN WILLIAMS PURE WHITE SW 7005



ROOFING: CERTAINTED LANDMARK PRO. DEF WEATHERED WOOD SHINGL



WINDOWS: SIMONTON - VINYL SINGLE HUNG



PATIO & BALCONY DOORS: SIMONTON -VINYL SLIDING FRENCH DOORS WHITE TRIM



COLPAY GARAGE DOORS: PAINTED METAL ROLL UP DOOR



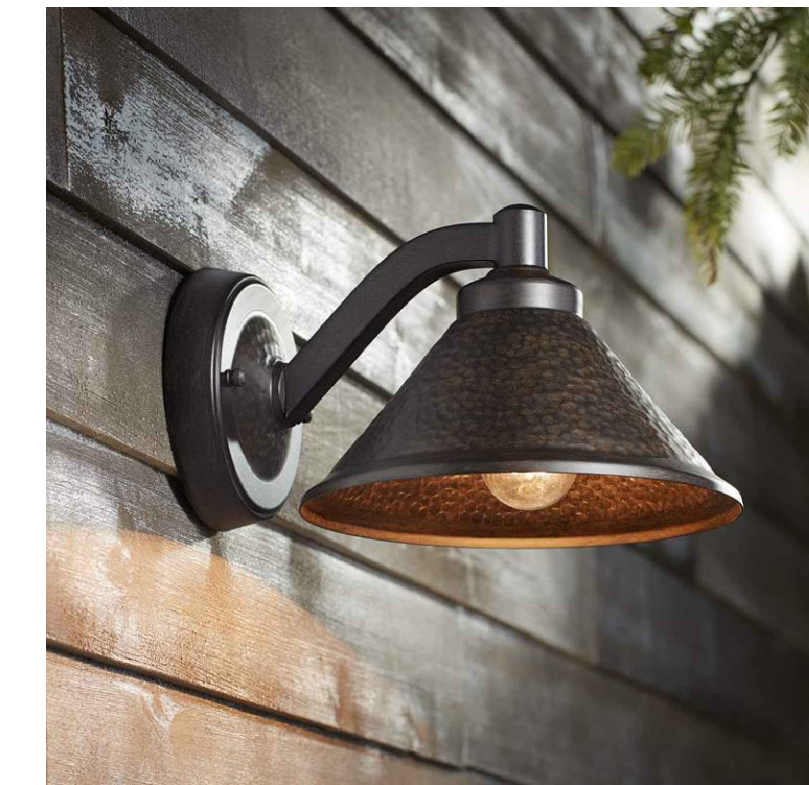
ENTRY DOOR: DOUBLE ENTRY DOORS WITH WROUGHT IRON OVER GLASS PANELS. DURABLE DARK WALNUT



TYPICAL GUARD & HAND RAILING: WOOD NEWEL POST SQUARE WROUGHT IRON BOLLARDS



FIBERGLASS TUSCAN PORCH COLUMNS (PAINTED) WHITE TRIM



MINKA KIRKHAM 8 1/2" WIDE DARK SKY OUTDOOR WALL LIGHT

ALL HARDSCAPE WILL BE CONCRETE.
WALK WAYS SHALL HAVE BROOM FINISH
EXTERIOR STUCCO WILL BE BEIGE,
WINDOWS - WHITE
ROOF SHINGLES - BLACK
GARAGE DOOR BROWN
ENTRY DOOR - BROWN, LOCKS - BRUSHED NICKEL
GUARD AND HAND RAIL - WHITE
PORCH COLUMNS - WHITE
LIGHT FIXTURES - BLACK



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FERDINAND AVE.
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APN: 047-222-260

REV.	DESCRIPTION:	DATE:
A		
B		
C		

DATE:
7/10/2023

SHEET TITLE:

SECTIONS

SHEET NUMBER:

A2.4

SHEET INDEX

- C-1 GRADING AND DRAINAGE PLAN
- C-2 PROFILE
- C-3 EROSION CONTROL PLAN
- C-4 STORM DRAINAGE AREAS
- 1 TOPOGRAPHIC PLAN

NO.	DESCRIPTIONS	DATE	APPROVED

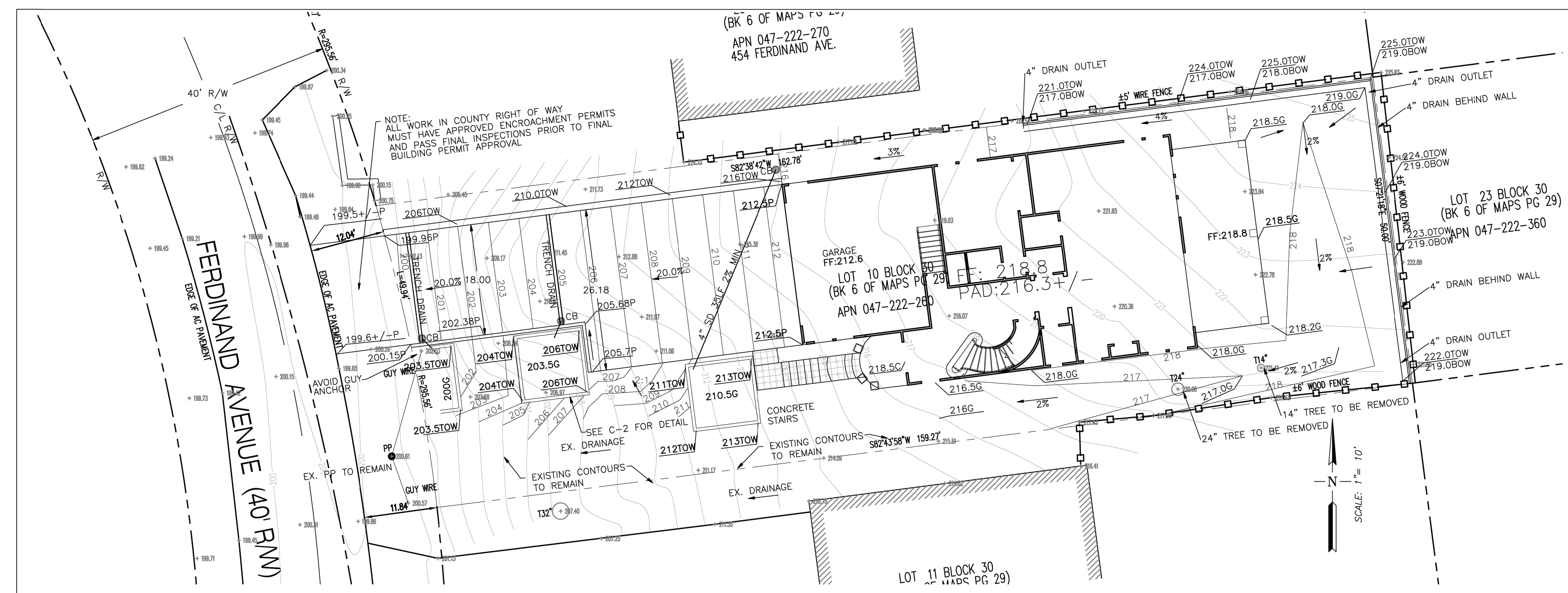
DUSPIVA Engineering
 CIVIL ENGINEERING
 6025 PINE RIVER LN FORT WORTH, TX 76179
 817-327-0868

GRADING AND DRAINAGE PLAN FOR FERDINAND AVENUE
 APN: 047-222-260
 EL GRANADA CALIFORNIA

PREPARED FOR:
 JOB NO. _____
 DATE 3-3-24
 SCALE NA
 DR. BY J.G.D.
 CK. BY J.G.D.
 FILE: _____



SHEET NUMBER
C-1
 1 OF 4



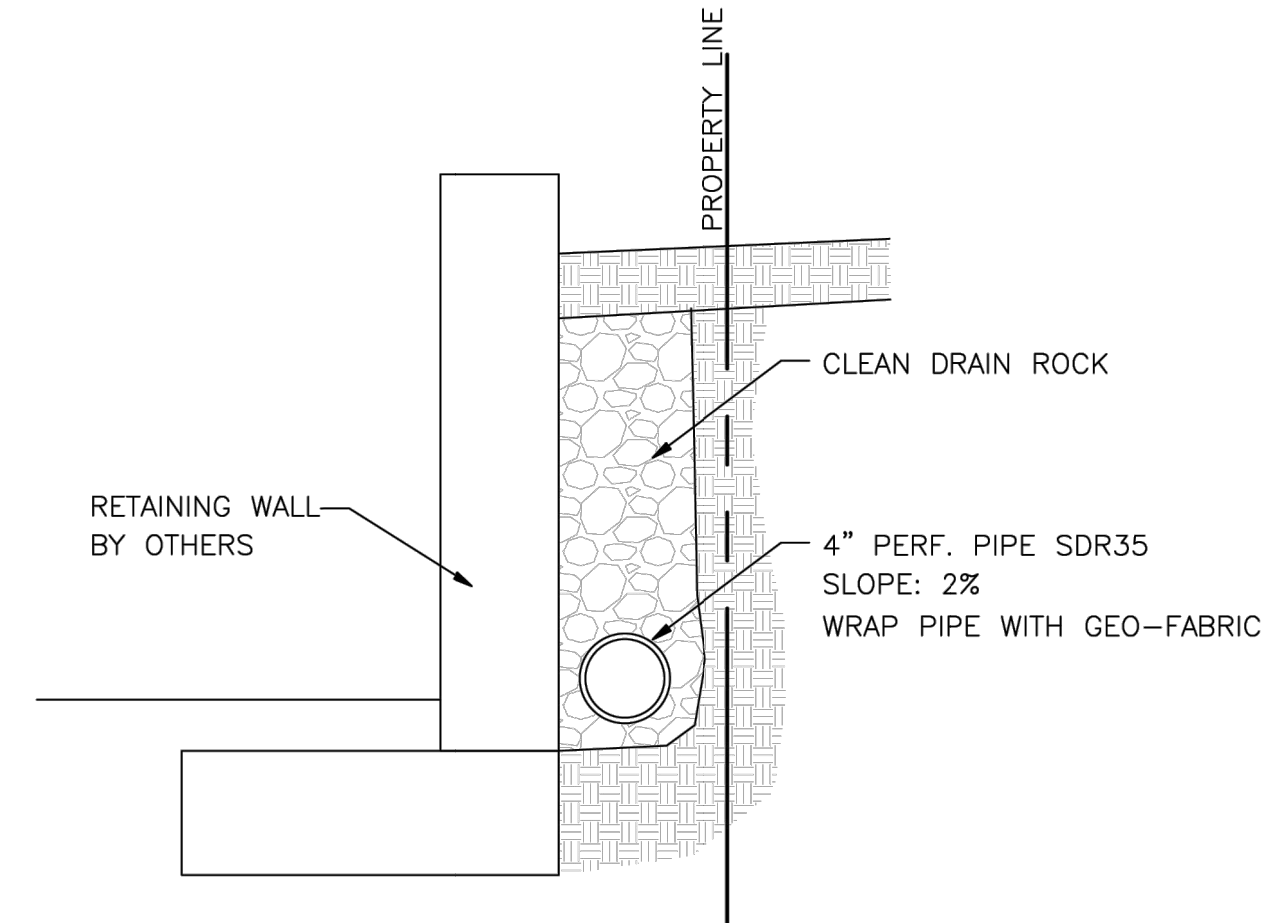
GENERAL NOTES:

- ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE FOLLOWING: COUNTY OF SAN MATEO ("COUNTY") STANDARD SPECIFICATIONS AND ALL AMENDMENTS THERETO TO DATE, CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS ("CALTRANS") LATEST EDITION, WHERE APPLICABLE, WHERE THERE IS A CONFLICT BETWEEN THE PLANS AND THE COUNTY'S STANDARD SPECIFICATIONS AND PLANS, THE COUNTY STANDARD SPECIFICATIONS AND PLANS SHALL PREVAIL. ALL WORK SHALL BE SUBJECT TO THE INSPECTION OF THE COUNTY OF SAN MATEO BUILDING DEPARTMENT AND PUBLIC WORKS DEPARTMENT.
- PRIOR TO ANY WORK BEING PERFORMED, THE CONTRACTOR SHALL CONTACT THE APPROPRIATE REGULATORY AGENCIES FOR A PRE-CONSTRUCTION CONFERENCE.
- IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THE TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL NOTIFY DUSPIVA ENGINEERING ("ENGINEER") IMMEDIATELY REGARDING ANY DISCREPANCIES AND AMBIGUITIES WHICH MAY EXIST IN THE PLANS AND SPECIFICATIONS. IF THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
- THE CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCH MARKS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSE FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY LOSS OR DISTURBANCE.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER, ENGINEER AND THE COUNTY HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROPERTY, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT WRITTEN AUTHORIZATION FROM THE COUNTY AND OR ENGINEER.
- THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN, OR OTHER DEVICES NECESSARY FOR PUBLIC SAFETY IN ACCORDANCE WITH THE LATEST CALTRANS MANUAL.
- THE OFFICE OF THE COUNTY OF SAN MATEO BUILDING DEPARTMENT AND PUBLIC WORKS DEPARTMENT SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF ANY WORK.
- CABLE TV, ELECTRICAL, GAS, AND TELEPHONE UNDERGROUND SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF THE CURB, GUTTER, SIDEWALK AND PAVING.
- THE COUNTY OF SAN MATEO OR ASSOCIATED UTILITY COMPANY AND RESIDENCES TO BE AFFECTED SHALL BE NOTIFIED IMMEDIATELY UPON ANY UTILITY SERVICE DISRUPTION OTHER THAN SPECIFIED ON THESE IMPROVEMENT PLANS AND A TWENTY-FOUR (24) HOUR NOTICE SHALL BE GIVEN FOR ANY PLANNED DISRUPTION.
- THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE COUNTY OF SAN MATEO DEPARTMENT OF PUBLIC WORKS OR ANY APPLICABLE AGENCIES PRIOR TO COMMENCEMENT OF WORK WITHIN EXISTING COUNTY RIGHT-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND LICENSES REQUIRED FOR THE CONSTRUCTION AND COMPLETION OF THE PROJECT.
- STREET SIGNS, TRAFFIC CONTROL SIGNS, AND PAVEMENT MARKINGS SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR AT LOCATIONS ESTABLISHED BY THE ENGINEER.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF THE REMOVAL OR RELOCATION OF ALL EXISTING UTILITIES WITH RESPECTIVE UTILITY COMPANIES.
- ASPHALT CONCRETE SHALL BE PLACED ONLY WHEN THE ATMOSPHERIC TEMPERATURE IS ABOVE 50'.
- PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY MEMBERS IF THE UNDERGROUND SERVICE ALERT (U.S.A.) FORTY-EIGHT (48) HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK BY CALLING THE TOLL-FREE NUMBER (800) 227-2600. THE CONTRACTOR SHALL RECORD THE U.S.A. ORDER NUMBER. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THE CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE DEVELOPMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND REPLACEMENT OF EXISTING IMPROVEMENTS.
- WHENEVER PAVEMENT IS BROKEN OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS AND SPECIFICATIONS, THE PAVEMENT SHALL BE REPLACED, AFTER PROPER BACK FILLING, WITH PAVEMENT MATERIALS EQUAL TO OR BETTER THAN THE MATERIAL USED IN THE ORIGINAL PAVING. THE FINISHED PAVEMENT SHALL BE SUBJECT TO THE APPROVAL OF THE COUNTY ENGINEER.

- PAYMENT FOR PAVEMENT WILL BE MADE ONLY FOR AREAS SHOWN ON THESE PLANS. REPLACEMENT OF PAVEMENT WHICH IS BROKEN OR CUT DURING THE INSTALLATION OF THE WORK COVERED BY THESE SPECIFICATIONS, AND WHICH LIES OUTSIDE OF SAID AREAS, SHALL BE INDICATED IN THE CONTRACTOR'S UNIT PRICE FOR PAVEMENT, AND NO ADDITIONAL PAYMENT SHALL BE MADE FOR SUCH WORK.
- EXCAVATIONS OF 5 FEET OR MORE IN DEPTH WILL REQUIRE AN EXCAVATION PERMIT FROM THE STATE OF CALIFORNIA DEPARTMENT OF INDUSTRIAL SAFETY. FOR TRENCHES 5 FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL COMPLY WITH SECTION 5-1.02A OF THE CALTRANS STANDARDS, CHAPTER 9 OF THE STATE OF CALIFORNIA LABOR CODE, AND ANY LOCAL CODES OR ORDINANCES.
- WE CALL YOUR ATTENTION TO TITLE 8 CALIFORNIA ADMINISTRATION CODE SECTION 1540 (A) (1) OF THE CONSTRUCTION SAFETY ORDERS ISSUED BY THE OCCUPATIONAL SAFETY AND HEALTH STANDARDS BOARD PURSUANT TO THE CALIFORNIA OCCUPATIONS SAFETY AND HEALTH ACT OF 1973 AS AMENDED WHICH STATES: (1) PRIOR TO OPENING AN EXCAVATION EFFORT SHALL BE MADE TO DETERMINE WHETHER UNDERGROUND INSTALLATIONS; I.E. SEWER, WATER, FUEL, ELECTRICAL LINES, ETC, WILL BE ENCOUNTERED AND IF SO, WHERE SUCH UNDERGROUND INSTALLATIONS ARE LOCATED. WHEN THE EXCAVATION APPROACHES THE APPROXIMATE LOCATION OF SUCH INSTALLATION, THE EXACT LOCATION SHALL BE DETERMINED BY CAREFUL PROBING OR HAND DIGGING; AND, WHEN IT IS UNCOVERED, ADEQUATE PROTECTION SHALL BE PROVIDED FOR THE EXISTING INSTALLATION. ALL KNOWN OWNERS OF UNDERGROUND FACILITIES IN THE AREA CONCERNED SHALL BE ADVISED OF PROPOSED WORK AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO THE DATE OF ACTUAL EXCAVATION.
- ALL TRENCHES IN PAVED AREAS SHALL BE PAVED WITH TEMPORARY PAVING, OR COVERED WITH A STEEL PLATE OR APPROPRIATE SIZE AND STRENGTH, THE SAME DAY THE PAVEMENT CUT IS MADE.
- SIGNING, STRIPING AND PAVEMENT MARKINGS SHALL BE IN STRICT CONFORMANCE WITH THE LATEST CALTRANS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

GRADING NOTES:

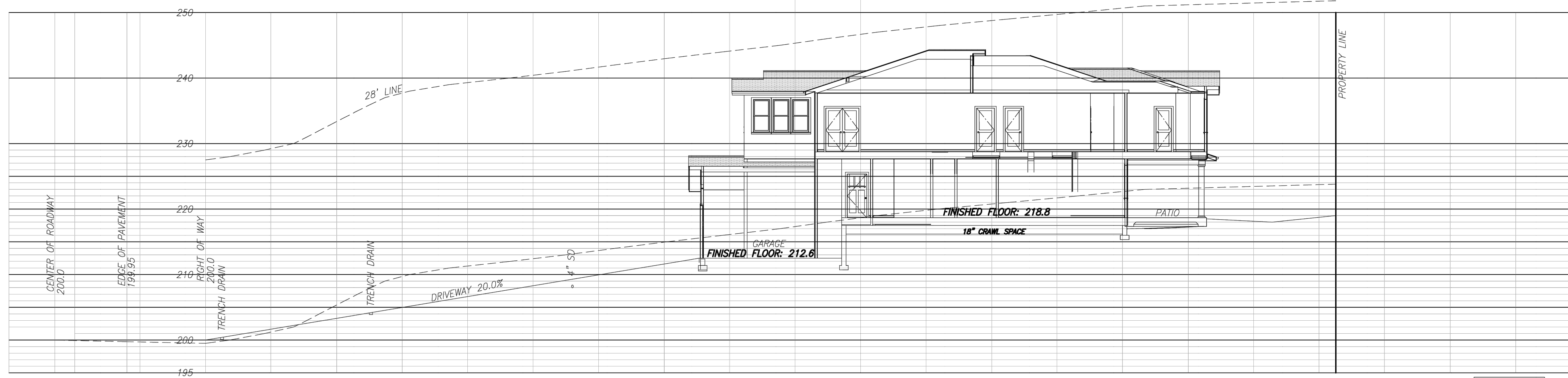
- EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE COUNTY OF SAN MATEO STANDARDS. ALL FILL AREAS SHALL BE COMPACTED TO 95% R.C UNLESS OTHERWISE SPECIFIED. THE DEVELOPER SHALL BE RESPONSIBLE FOR COST OF INITIAL TEST. IF THE FIRST TEST FAILS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COST OF ALL SUBSEQUENT CURVES AND TESTS.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR COST OF INITIAL TEST FOR MOISTURE DENSITY CURVE. IF THE FIRST TEST FAILS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COST OF ALL SUBSEQUENT CURVES AND TESTS.
- THE CONTRACTOR SHALL REVIEW SITE PRIOR TO BIDDING. ALL VEGETATION AND DELETERIOUS MATERIALS SHALL BE REMOVED FROM THE SITE AT THE EXPENSE OF THE CONTRACTOR AND SHALL BE INCLUDED IN THE LUMP SUM CLEARING COST.
- CONTRACTOR'S PRICE SHALL INCLUDE COST TO IMPORT AND EXPORT MATERIAL AS NEEDED BASED ON THE GRADING PLAN ATTACHED. THE GRADES SHOWN ON THE GRADING PLAN SHALL NOT CHANGE WITHOUT WRITTEN AUTHORIZATION OF THE ENGINEER.
- CONTRACTOR IS RESPONSIBLE FOR THE OFF HAUL AND DISPOSAL OF ANY AND ALL EXCESS DIRT.
- THE CUT AND FILL VALUES SHOWN ON THE GRADING PLAN ARE FOR REFERENCE AND FEE PURPOSES ONLY. SINCE THE ENGINEER CAN NOT CONTROL THE EXACT METHOD OR MEANS USED BY THE CONTRACTOR DURING GRADING OPERATIONS, NOR CAN THE ENGINEER GUARANTEE THE EXACT SOIL CONDITIONS OVER THE ENTIRE SITE, THE ENGINEER ASSUMES NO RESPONSIBILITY FOR FINAL EARTHWORK QUANTITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING HIS OWN EARTHWORK QUANTITIES FOR BIDDING, CONTRACT AND CONSTRUCTION PURPOSE. IF IT APPEARS THERE WILL BE AN EXCESS OR SHORTAGE OF MATERIAL, THE CONTRACTOR MAY NOTIFY THE ENGINEER TO DETERMINE IF POSSIBLE GRADE ADJUSTMENTS CAN BE MADE.
- CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION FROM THE PROPOSED IMPROVEMENTS TO THE EXISTING IMPROVEMENTS.
- DUST CONTROL SHALL BE PROVIDED AT ALL TIMES, AT THE CONTRACTOR'S EXPENSE TO MINIMIZE ANY DUST NUISANCE AND SHALL BE IN ACCORDANCE WITH SECTION 10 OF CALTRANS STANDARD SPECIFICATIONS AND THE REQUIREMENTS OF THE COUNTY OF SAN MATEO. CONTRACTOR SHALL PROVIDE THEIR OWN MEANS OF WATER STORAGE AND SUPPLY FOR DUST CONTROL.



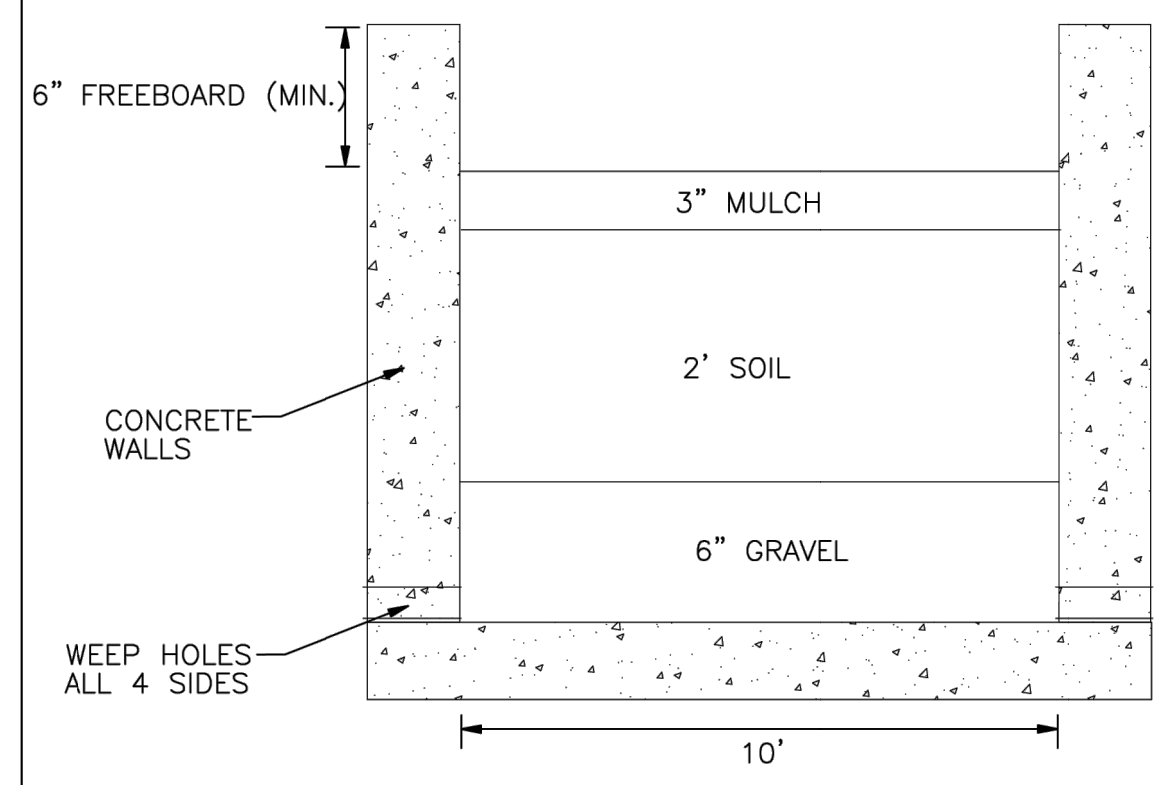
DRAINAGE PIPE DETAIL
 N.T.S.

CUT AND FILL:
 CUT: 400 CY
 FILL: 10 CY
 NET: 390 CY (CUT)
 ESTIMATES ARE FOR PLANNING PERMITS ONLY

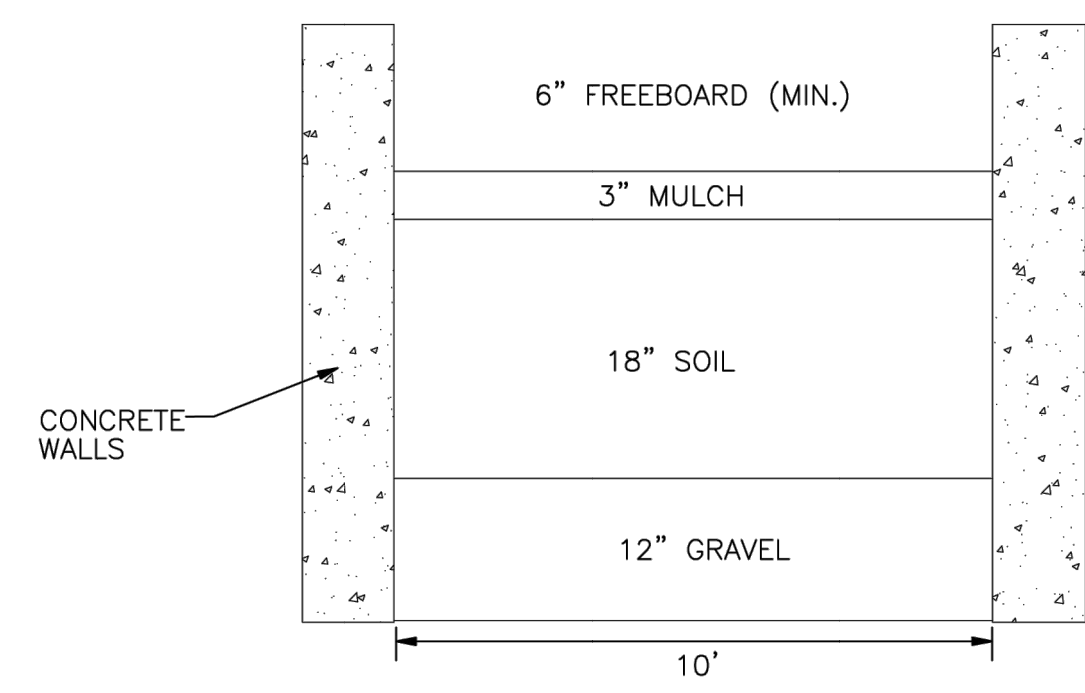
BENCH MARK:
 RIM OF SANITARY SEWER MANHOLE ALONG FERDINAND AVENUE ELEVATION 196.85 WAS USED AS A TEMPORARY BENCHMARK FOR THIS SURVEY.



SCALE:
 HOR: 1"=10'
 VER: 1"=10'



PLANTER BOX TYPICAL DETAIL



RAIN GARDEN TYPICAL DETAIL

NO.	DESCRIPTIONS	DATE	APPROVED

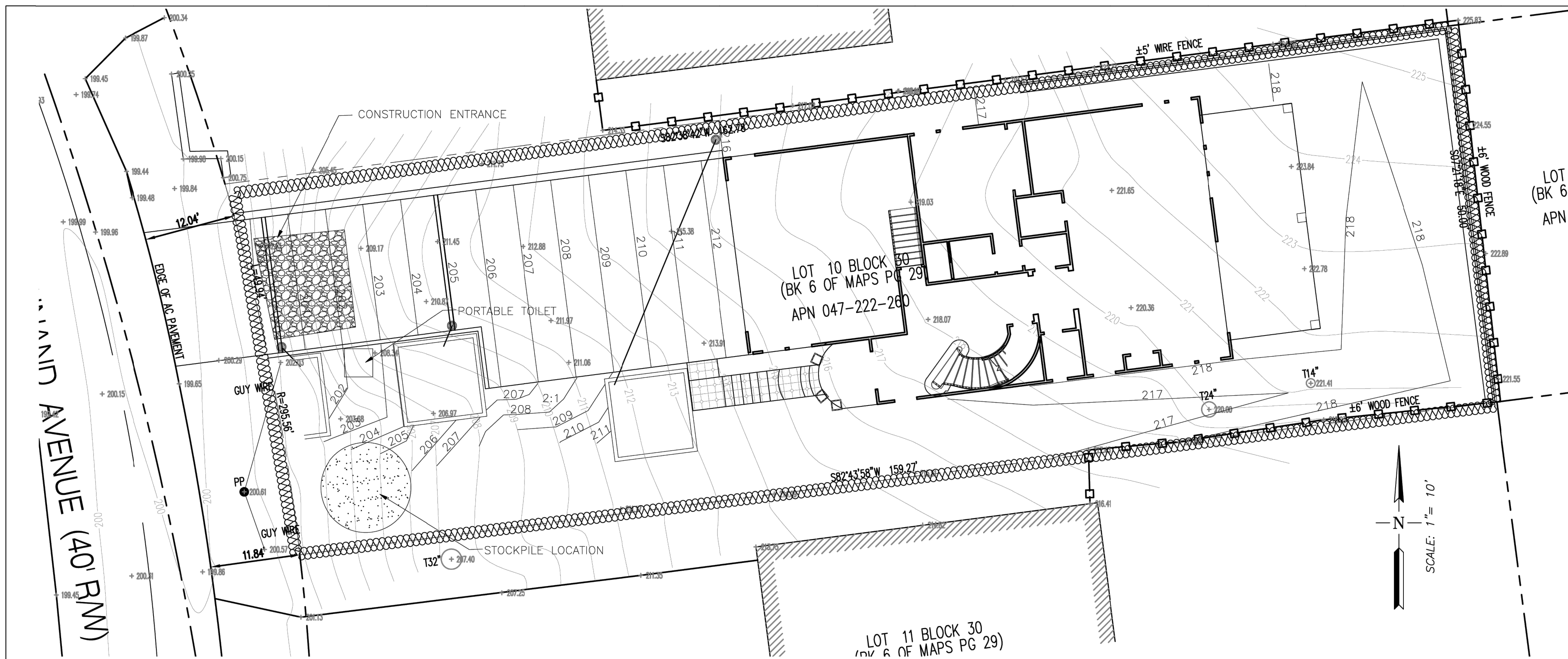
DUSPIVA
Engineering
 CIVIL ENGINEERING
 6025 PINE RIVER LN
 FORT WORTH, TX 76179
 0-209-327-0868

PREPARED FOR:
 FERDINAND AVENUE
 APN: 047-222-260
 EL GRANADA CALIFORNIA

JOB NO. 3-3-24
 DATE NA
 SCALE NA
 DR. BY Y.G.D.
 CK. BY Y.G.D.
 FILE:

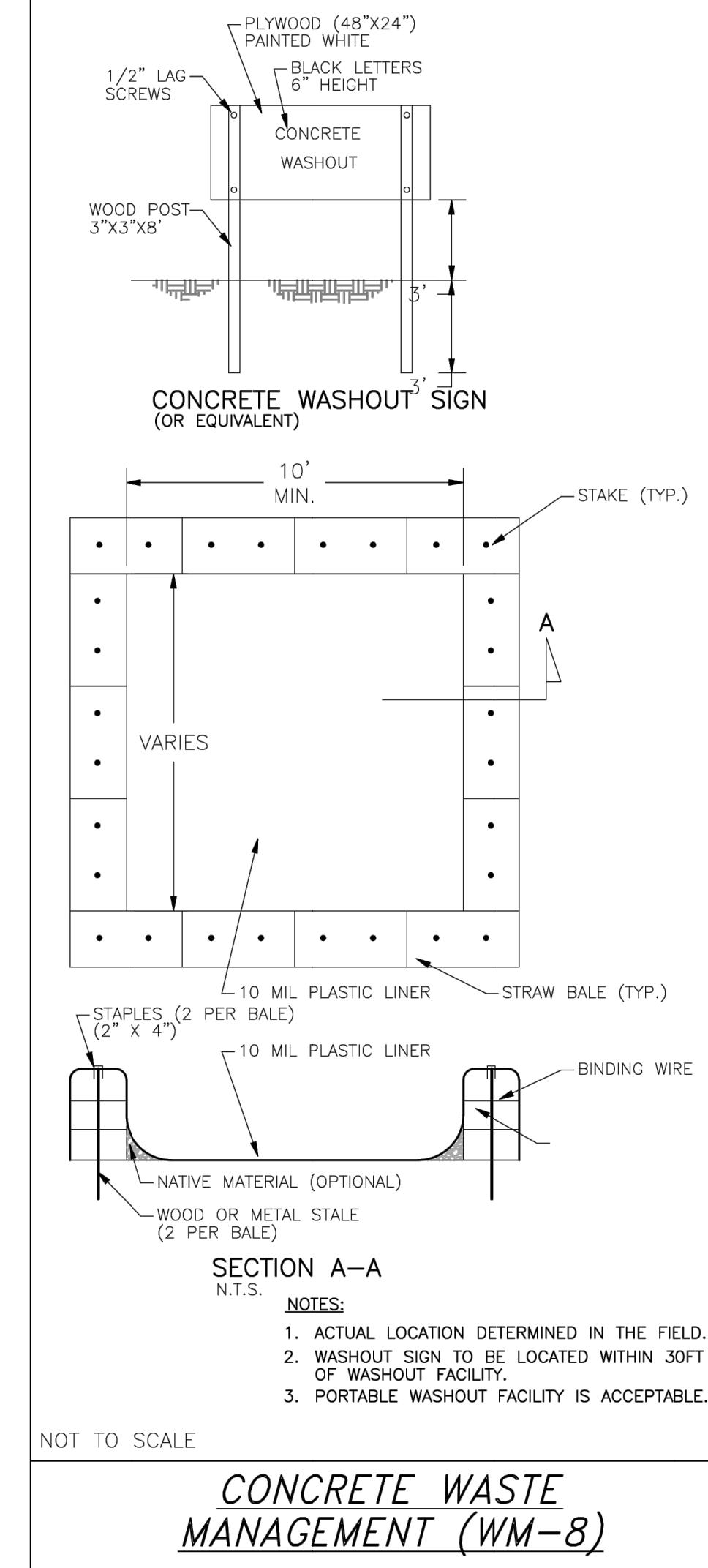
Y.G.D.
 REGISTERED PROFESSIONAL ENGINEER
 No. C82997
 EXP. 6-30-24
 CIVIL
 STATE OF CALIFORNIA

SHEET NUMBER
C-2
 2 OF 4



EROSION CONTROL GENERAL NOTES

- THESE PLANS DEPICT APPROPRIATE MEASURES TO CONTROL EROSION ON THE SITE TO BE GRADED AS SHOWN ON THE PLANS. THE NATIVE VEGETATION WILL BE REMOVED ONLY FROM THOSE AREAS TO BE GRADED. AREAS OUTSIDE OF AND DOWNSLOPE OF THE LIMITS OF GRADING WILL BE PROTECTED FROM SILT LADEN RUNOFF BY PERIMETER SILT FENCES AS DEPICTED ON THIS PLAN. SLOPED AREAS WHICH HAVE BEEN STOPPED OF VEGETATION AND NEW SLOPES OVER FOUR FEET HIGH CREATED DURING THE GRADING OPERATION WILL BE TRACKWALKED & HYDROSEEDED.
- ALL EROSION SEDIMENT STRUCTURES SHALL BE INSPECTED AFTER EACH RAINSTORM AND SHALL BE CLEANED OUT AS NECESSARY.
- A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. THE LOCATION IS SHOWN ON THESE PLANS. ALL CONSTRUCTION TRAFFIC ENTERING THE PAVED ROAD MUST CROSS THE ENTRANCE.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF EROSION CONTROL FOR THE LIFE OF THE PROJECT AND SHALL INSTALL AND MAINTAIN ANY DEVICES AND MEASURES NECESSARY TO THE SATISFACTION OF THE COUNTY ENGINEER, ALL-YEAR ROUND.
- TO MINIMIZE EROSION OF GRADED BANKS, ALL GRADED BANKS AND STOCKPILE AREAS SHALL BE HYDROSEEDED, LANDSCAPED OR SEALED.
- PROTECT DRAIN INLETS WITH FILTER FABRIC ANCHORED BY PEA GRAVEL BAGS. THIS SHALL BE USED TO PREVENT SEDIMENT LADEN RUNOFF FROM ENTERING ANY COMPLETED STORM DRAIN INLETS. THESE PROTECTION MEASURES SHALL BE MAINTAINED UNTIL THE PROJECT IS COMPLETED.
- WHEN TEMPORARY STRUCTURES HAVE SERVED THEIR INTENDED PURPOSE AND THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED, THE EMBANKMENT AND RESULTING SEDIMENT DEPOSITS ARE TO BE LEVELED OR OTHERWISE DISPOSED OF BY THE CONTRACTOR AS RECOMMENDED BY THE SOILS ENGINEER.
- GRADED AREAS MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE SHALL BE DIRECTED TOWARDS DRAINAGE INLETS.
- TEMPORARY EROSION CONTROL DEVICES SHOWN ON THIS PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED AS AND WHEN THE INSPECTOR SO DIRECTS AS THE WORK PROGRESSES.
- ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE PUBLIC RIGHT-OF-WAY BY THE END OF EACH WORKING DAY.
- STAND-BY CREWS SHALL BE ALERTED BY THE PERMITEE OR CONTRACTOR FOR EMERGENCY WORK DURING RAINSTORMS.
- SEWER OR STORM DRAIN TRENCHES THAT DRAIN THROUGH BASIN DIKES SHALL BE PLUGGED WITH SANDBAGS FROM TOP OF PIPE TO TOP OF DIKE.
- AFTER SEWER AND UTILITY TRENCHES ARE BACKFILLED AND COMPACTED, THE SURFACES OVER SUCH TRENCHES SHALL BE MOUNDING SLIGHTLY TO PREVENT CHANNELING OF WATER IN THE TRENCH AREA. CARE SHOULD BE EXERCISED TO PROVIDE FOR CROSS-FLOW AT FREQUENT INTERVALS WHERE TRENCHES ARE NOT ON THE CENTERLINE OF A CROWNED STREET. REMOVE ALL CHECK DAMS PRIOR TO BACKFILL.
- TO CONTROL SEDIMENT ENTERING FIELD INLETS, PLACE PEA GRAVEL BAGS IN THE CONCRETE V-DITCH AT THE SIDE OPENING OF THE FIELD INLET AT THE LOCATIONS SHOWN ON THIS PLAN.
- EXCEPT AS OTHERWISE DIRECTED BY THE INSPECTOR, ALL DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE FORECAST OF RAIN PROBABILITY EXCEEDS 50% AND MAINTAINED YEAR-ROUND.
- ALL BASINS AND CHECK DAMS SHALL HAVE BEEN PUMPED DRY, AND ALL DEBRIS AND SILT REMOVED WITHIN 24 HOURS AFTER EACH STORM.
- SANDBAGS SHALL BE STOCKPILED ON-SITE, READY TO BE PLACED IN POSITION WHEN RAIN FORECAST IS 50% OR WHEN DIRECTED BY THE INSPECTOR.
- EXPOSED SLOPES SHALL BE PROTECTED BY VEGETATION COVER OR FABRIC COVER AS APPROVED BY THE COUNTY ENGINEER.
- PROVIDE secondary containment structures (not double wall containers) where wet material processing occurs (e.g., electroplating), to hold spills resulting from accidents, leaking tanks, or equipment, or any other unplanned releases.



ADDITIONAL NOTES - DURING CONSTRUCTION

- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, rinse water from architectural copper, and non-stormwater discharges to storm drains and watercourses.
- Store, handle, and dispose of construction materials/wastes properly to prevent contact with stormwater.
- Do not clean, fuel, or maintain vehicles on-site, except in a designated area where wash water is contained and treated.
- Train and provide instruction to all employees/subcontractors re: construction BMPs.
- Protect all storm drain inlets in vicinity of site using sediment controls such as berms, fiber rolls, or filters.
- Limit construction access routes and stabilize designated access points.
- Use temporary erosion controls to stabilize all denuded areas until permanent erosion controls are established.
- Delineate with field markers clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses.
- Perform clearing and earth moving activities only during dry weather.
- Trap sediment on-site, using BMPs such as sediment basins or traps, earthen dikes or berms, silt fences, check dams, soil blankets or mats, covers for soil stock piles, etc.
- Divert on-site runoff around exposed areas; divert off-site runoff around the site (e.g., swales and dikes).
- Protect adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.

Stockpile Management WM-3

Categories	
EC Erosion Control	<input type="checkbox"/>
SE Sediment Control	<input type="checkbox"/>
TC Tracking Control	<input type="checkbox"/>
WE Wind Erosion Control	<input type="checkbox"/>
NS Non-Stormwater Management Control	<input type="checkbox"/>
WM Waste Management and Materials Pollution Control	<input checked="" type="checkbox"/>

Description and Purpose
Stockpile management procedures and practices are designed to reduce or eliminate air and stormwater pollution from stockpiles of soil, soil amendments, sand, paving materials such as portland cement concrete (PCC) rubble, asphalt concrete (AC), asphalt concrete rubble, aggregate base, aggregate sub base or pre-mixed aggregate, asphalt millings (so called "old cut" asphalt), and processed treated wood.

Implementation
Protection of stockpiles is a year-round requirement. To properly manage stockpiles:

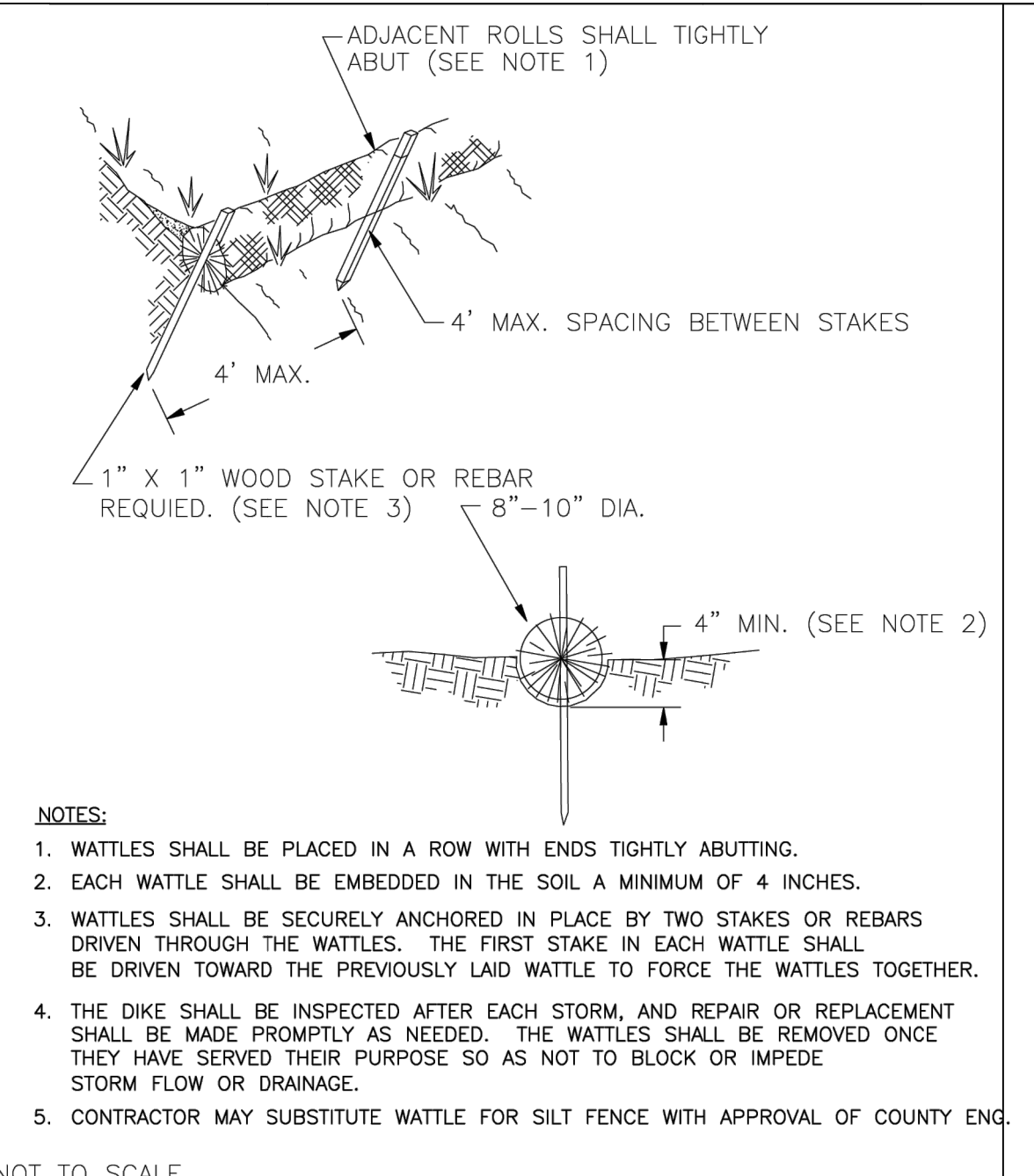
- Plastic sheeting as a stockpile protection is temporary and hard to manage in windy conditions. Where plastic is used, consider use of plastic tarp with nylon reinforcement which may be more durable than standard sheeting.
- Plastic sheeting can increase runoff volume due to lack of infiltration and potentially cause perimeter control failure.
- Plastic sheeting breaks down faster in sunlight.
- The use of plastic materials and photodegradable plastics should be avoided.

Sanitary/Septic Waste Management WM-9

Categories	
EC Erosion Control	<input type="checkbox"/>
SE Sediment Control	<input type="checkbox"/>
TC Tracking Control	<input type="checkbox"/>
WE Wind Erosion Control	<input type="checkbox"/>
NS Non-Stormwater Management Control	<input type="checkbox"/>
WM Waste Management and Materials Pollution Control	<input checked="" type="checkbox"/>

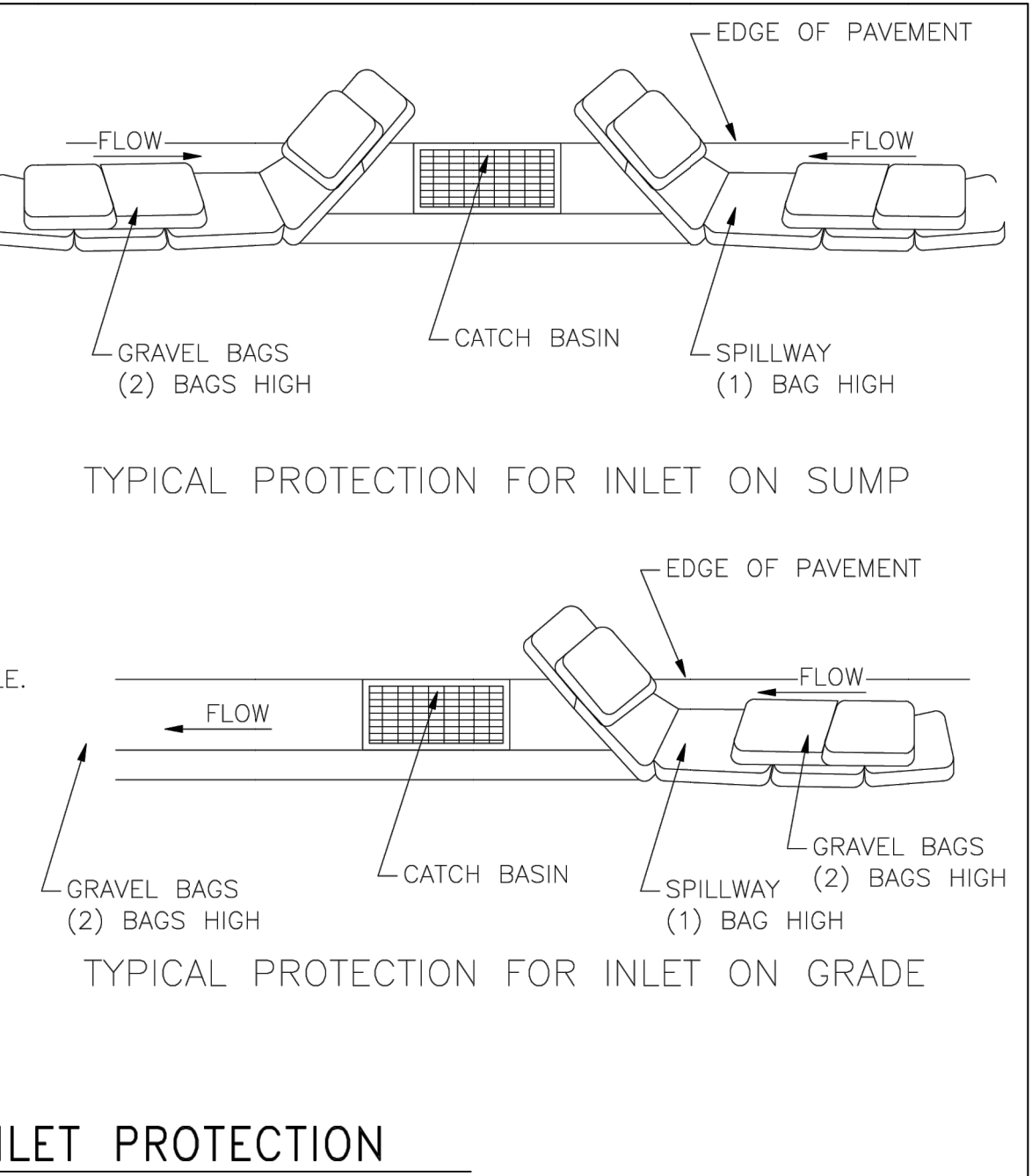
Description and Purpose
Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.

Implementation
Sanitary or septic waste should be treated or disposed of in accordance with state and local requirements. In many cases, one contract with a local facility supplier will be all that it takes to make sure sanitary wastes are properly disposed.

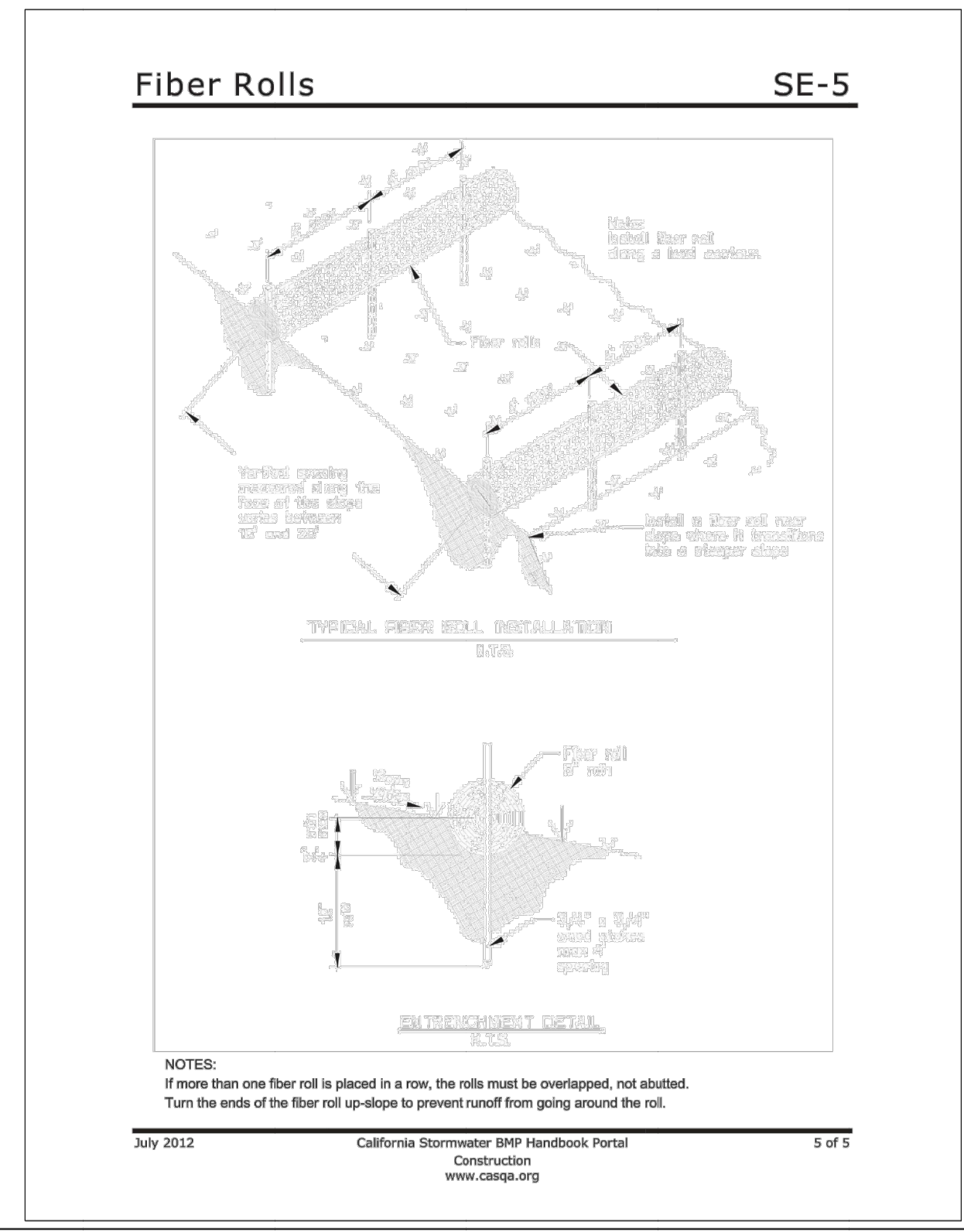


FIBER ROLL (SE-5)
NOT TO SCALE

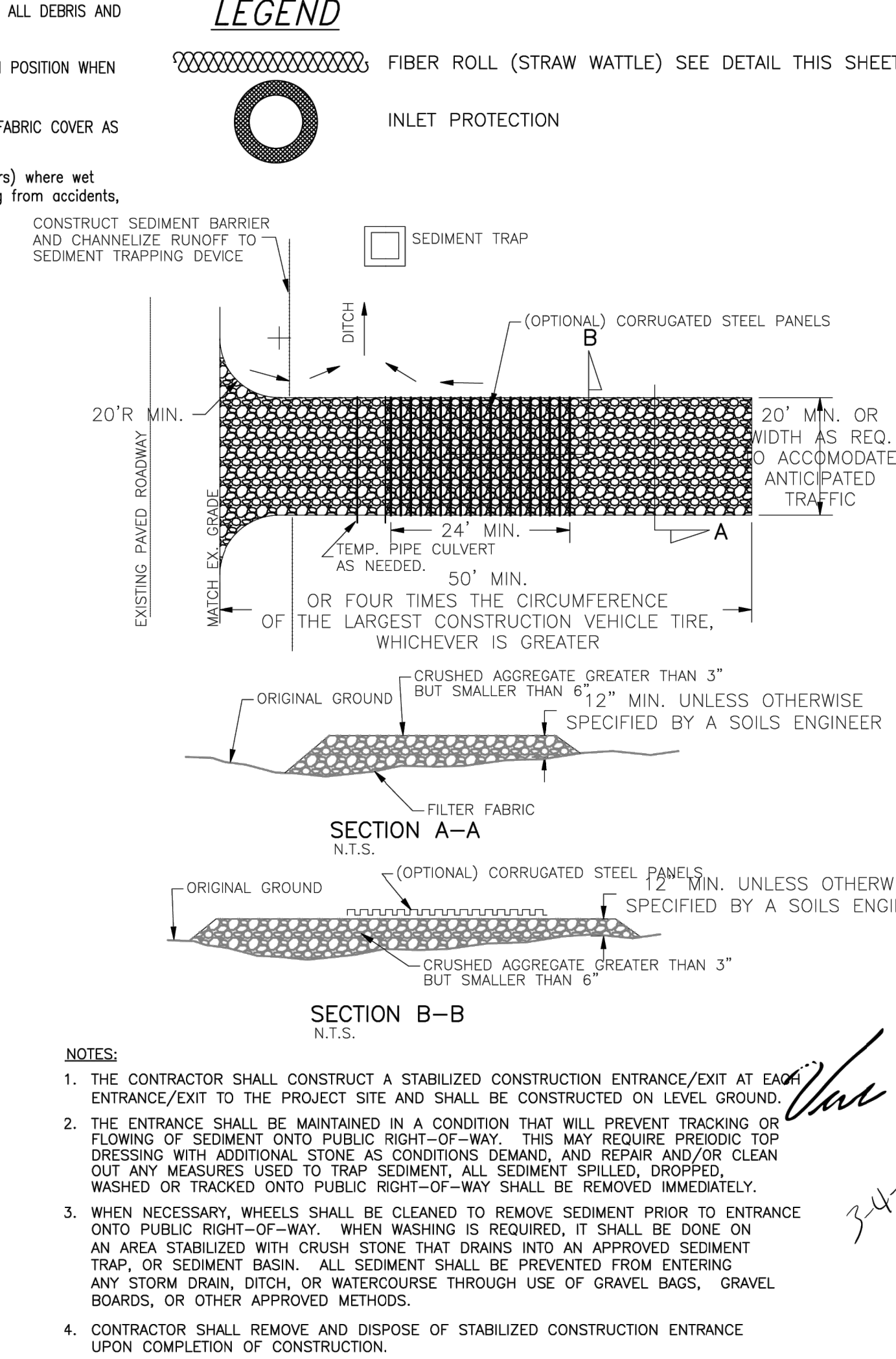
- NOTES:**
- INTENDED FOR SHORT TERM USE.
 - USE TO INHIBIT NON-STORM WATER FLOW.
 - ALLOW FOR PROPER MAINTENANCE AND CLEAN UP.
 - BAGS MUST BE REMOVED AFTER ADJACENT OPERATION IS COMPLETED.
 - NOT APPLICABLE IN AREAS WITH HIGH SILTS AND CLAYS WITHOUT FILTER FABRIC.
- D.I. PROTECTION TYPE 3 - GRAVEL BAG:**
- THE GRAVEL BAG BARRIER (TYPE 3) IS SHOWN IN THE FIGURES. FLOW FROM A SEVERE STORM SHOULD NOT OVERTOP THE CURB. IN AREAS OF HIGH CLAY AND SILTS, USE FILTER FABRIC AND GRAVEL AS ADDITIONAL FILTER MEDIA. GRAVEL BAGS SHOULD BE USED DUE TO THEIR HIGH PERMEABILITY.
- USE SAND BAG MADE OF GEOTEXTILE FABRIC (NOT BURLAP) AND FILL WITH 0.75 IN ROCK OR 0.25 IN PEA GRAVEL.
 - CONSTRUCT ON GENTLY SLOPING STREETS.
 - LEAVE ROOM UPSTREAM OF BARRIER FOR WATER TO POND AND SEDIMENT TO SETTLE.
 - PLACE SEVERAL LAYERS OF SAND BAGS - OVERLAPPING THE BAGS AND PACKING THEM TIGHTLY TOGETHER.
 - LEAVE GAP OF ONE BAG ON THE TOP ROW TO SERVE AS A SPILLWAY. FLOW FROM A SEVERE STORM (E.G. 10 YR STORM) SHOULD NOT OVERTOP THE CURB.
 - THIS DETAIL IS TO BE USED ON EXISTING STREETS WHERE SILETED FLOW IS TO BE INTERCEPTED (CAUGHT) PRIOR TO ENTERING THE STORM DRAIN SYSTEM. SANDBAGS CAN ALSO BE USED WHEN THE ROUGH GRADED STREETS HAVE POURED INPLACE CONCRETE SURROUNDING THE INLET TO CREATE A "FLOW LINE" WHERE A DAM CAN BE ACHIEVED TO PROTECT THE STORM SYSTEM FROM THE INFLOW OF SEDIMENT.



DETAIL SE-10 - INLET PROTECTION
N.T.S.



FIBER ROLLS (SE-5)
NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE/EXIT (TC-1)
NOT TO SCALE

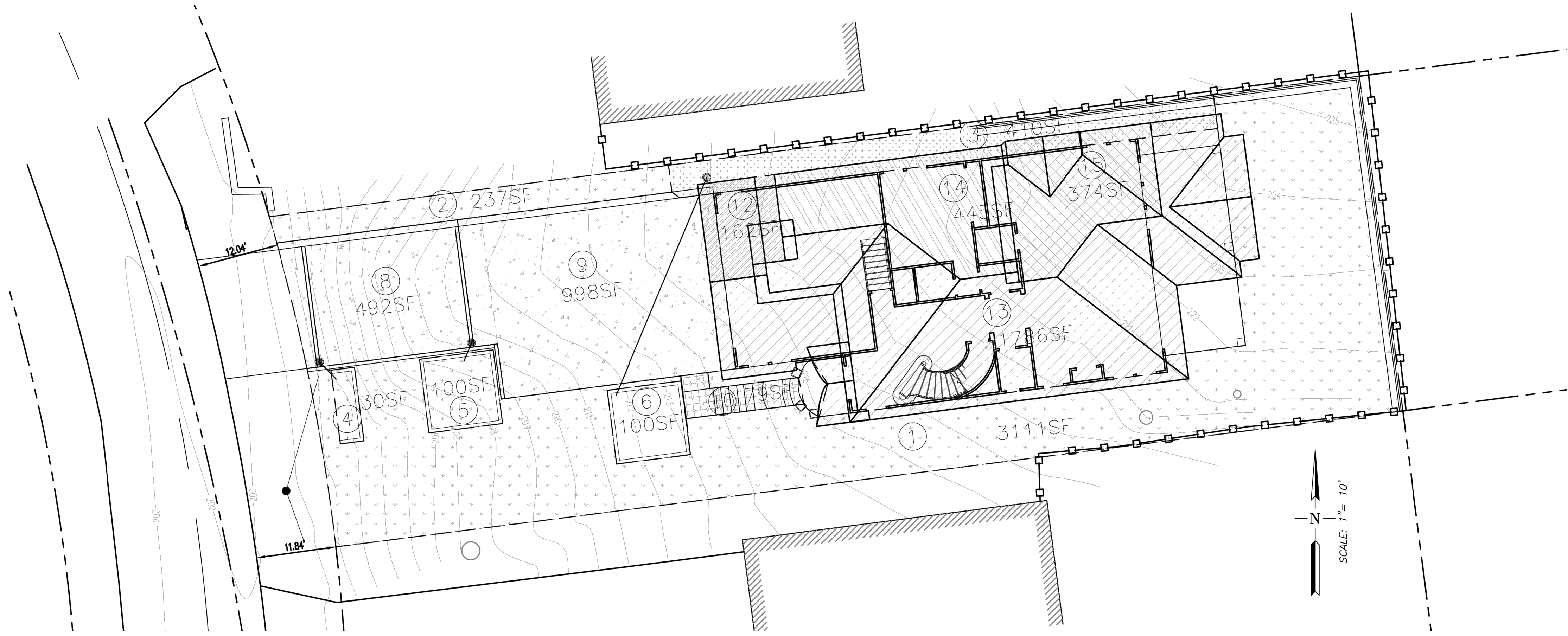
NO.	REVISIONS	DATE	APPROVED

PREPARED FOR:
EROSION CONTROL PLAN FOR FERDINAND AVENUE APN: 047-222-260 EL GRANADA CALIFORNIA

DESIGNED BY: VICTOR G. DUSPIVA
CHECKED BY: V.G.D.
DATE: 3-3-24
SCALE: N.A.
JOB NO.: 3-3-24
FILE: 3424

PROFESSIONAL ENGINEER
VICTOR G. DUSPIVA
No. C62997
Exp. 6-30-24
CIVIL
STATE OF CALIFORNIA

SHEET NUMBER
C-3
3 OF 4



DRAINAGE AREAS:

AREA:	SQUARE FOOTAGE	TYPE	DRAINS TO AREA
1	3,111 SF	LANDSCAPE	
2	237 SF	LANDSCAPE	
3	410 SF	LANDSCAPE	
4	30 SF	RAIN GARDEN	
5	100 SF	PLANTER BOX	
6	100 SF	PLANTER BOX	
7		DELETED	
8	492 SF	CONCRETE	4
9	998 SF	CONCRETE	5
10	158 SF	CONCRETE	1
11		DELETED	
12	162 SF	ROOF	6
13	1786 SF	ROOF	1
14	445 SF	ROOF	6
15	374 SF	ROOF	3

JOB NO. _____
 DATE 3-3-24
 SCALE NA
 DR. BY Y.G.D.
 CK. BY Y.G.D.
 FILE: _____

PREPARED FOR:

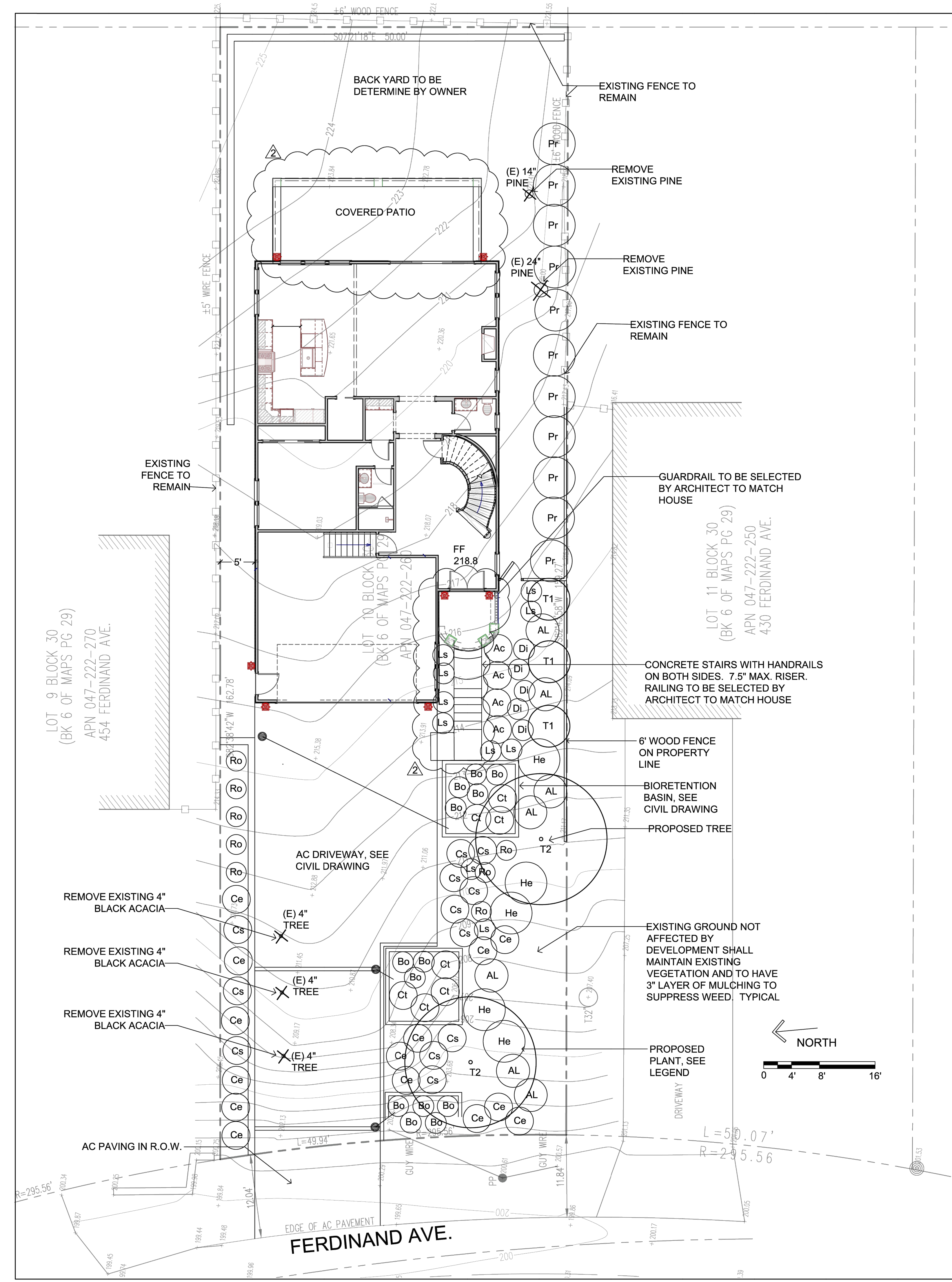
STORM DRAINAGE AREAS
 FOR
 FERDINAND AVENUE
 APN: 047-222-260
 EL GRANADA CALIFORNIA

NO.	DESCRIPTIONS	DATE	APPROVED

DUSPIVA
 Engineering
 CIVIL ENGINEERING
 6025 PINE RIVER LN FORT WORTH, TX 76179
 817-209-327-0868

Victor G. Duspiva
 3424
 REGISTERED PROFESSIONAL ENGINEER
 No. C62997
 Exp. 8-30-24
 CIVIL
 STATE OF CALIFORNIA

SHEET NUMBER
C-4
 4 OF 4



- GENERAL NOTES:**
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS, THE LOCATION OF ALL TREES WITHIN THE LIMIT OF WORK, UTILITIES, AND ALL SITE ELEMENTS PRIOR TO BEGINNING THE WORK.
 - PERFORM ALL WORK IN CONFORMANCE WITH REQUIREMENTS AND OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS. OBSERVE ALL SETBACKS SHOWN ON THE PLANS AND AS OTHERWISE MAY BE REQUIRED.
 - THE LANDSCAPE ARCHITECT AND THE OWNER SHALL BE ADVISED 48 HOURS IN ADVANCE FOR PERFORMANCE OF SITE OBSERVATIONS.
- CONSTRUCTION LAYOUT NOTES:**
- THE LAYOUT PLAN IS DIAGRAMMATIC ONLY. SHOULD A DISCREPANCY EXIST BETWEEN THE PLAN AND ACTUAL SITE CONDITIONS, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY, IN WRITING, PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR IS RESPONSIBLE FOR:
 - VERIFYING AND CONFORMING TO SETBACKS AND OTHER INDICATED DIMENSIONS.
 - LAYOUT OF ALL MAJOR COMPONENTS PRIOR TO STARTING CONSTRUCTION.
 - COOPERATING WITH LANDSCAPE ARCHITECT AND OWNER IN RESOLVING ANY DISCREPANCIES AND MAKING ADJUSTMENTS TO AVOID ADDITIONAL COSTS TO THE OWNER.
 - THE LANDSCAPE ARCHITECT SHALL APPROVE ALL STAKE UP AND FORM WORK PRIOR TO INSTALLATION.
 - ALL CURVES SHALL BE SMOOTH AND CONTINUOUS AND ALL ANGLES SHALL BE 90°, UNLESS OTHERWISE NOTED.
 - WRITTEN DIMENSIONS SHALL PREVAIL. DO NOT SCALE DRAWINGS, UNLESS OTHERWISE NOTED.
 - ALL RADIUS POINT DISCREPANCIES ARE +/- . ADJUSTMENTS IN THE FIELD MAYBE NECESSARY FOR SMOOTH, EVEN LINES AND LAYOUT POINTS.
 - ALL DIMENSIONS START AT REFERENCE LINES, FACE OF BUILDING, DESIGNATED RADIUS POINTS, UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL INSTALL EXPANSION JOINTS WITH MASTIC BETWEEN ANY BUILDING AND PAVING CONNECTIONS, AND BETWEEN EXISTING PAVING AND NEW PAVING.
 - CONTRACTOR TO COORDINATE SLEEVING (IRRIGATION, LIGHTING, DRAINAGE, ETC.) WITH OTHER CONTRACTORS

PLANTING LIST

SYMBOL	BOTANICAL NAME - COMMON NAME	QTY	SIZE	WUCOLS
Tree				
T1	Cupressus sempervirens 'Stricta' - Italian Cypress	3	24" box	L
T2	Lagerstroemia indica x f. 'Muskogee' - Crape Myrtle	2	24" box	L
Shrubs				
Ac	Acacia cognata 'Cousin Itt' - Cousin Itt River Wattle	4	5 gallon	L
AL	Alyogyne huegellii 'Monterey Bay' - Blue Hibiscus	7	5 gallon	L
Cs	Cistus x skanbergii - Pink Rockrose	12	5 gallon	L
CE	Ceanothus gloriosus 'Anchor Bay' - Wild Lilac	14	5 gallon	L
Di	Dietes iridioides - African Iris	5	5 gallon	L
He	Heteromeles arbutifolia - Toyon	5	5 gallon	L
Ls	Lavandula stoechas 'Javelin Forte' - Spanish Lavender	10	1 gallon	L
Pr	Prunus caroliniana - Carolina Cherry Laurel	11	15 gallon	L
Ro	Rosmarinus officinalis 'Tuscan Blue' - Rosemary	8	5 gallon	L
Bioretention Area Planting (*)				
Bo	Bouteloua gracilis 'Blonde Ambition' - Blue Grama	13	1 gallon	L
Ct	Chondropetalum tectorum - Cape Reed	7	1 gallon	L

- WUCOLS CATEGORIES OF WATER NEEDS: VL = VERY LOW, L = LOW WATER USE, M = MODERATE WATER USE
 * PLANT SUITABLE FOR BIORETENTION AREA FROM PLANT LIST FOR STORMWATER MEASURES. Grasses shall be planted in basin and shrubs in the bank of bioretention area. (C3 Technical Guidance Manual)

- PLANTING NOTE:**
- Before planting till the following materials into the top 6" of soil (for each 1,000 S.F.):
 - 6 cubic yards green waste compost
 - 10 LB fertilizer (N16/P6/K8) w/ 2% iron
 - 5 LB sulfate of ammonia
 - Mulch all exposed soil surfaces of the planting areas with a 3" thick layer of medium recycled wood chips, color 'Dark Brown'.
 - For trees, nursery stakes shall be removed at the time of planting. Stake each tree using 2 lodge poles and rubber tree ties.
 - The Landscape Architect and the Owner reserve the right to reject any or all plant material, if such material does not meet the American Standards for Nursery Stock (ANSI). Plant materials shall be guaranteed against latent defects, injuries, pests, diseases or death of plants due to improper planting. The Contractor shall promptly replace plants that have died or are not in a vigorous, healthy condition with plants of the same kind and size as originally specified at no expense to the Owner.
 - Landscape Architect to approve plant locations prior to planting.
 - The Contractor shall be responsible to continuously maintain grades, plant material, and irrigation through the maintenance period until final acceptance of the work by the Owner.
 - The Contractor shall be responsible for the adequate protection of the improvements. Damaged areas, such as sprinkler heads or plant materials, shall be replaced or repaired at no additional expense to the Owner.

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.

[Signature]
 LANDSCAPE ARCHITECT SIGNATURE 11/8/2022

PROJECT INFORMATION

PROJECT ADDRESS: FERDINAND AVE.
 EL GRANADA, CA
 APN 047-222-260

TOTAL LANDSCAPE AREA: 1778 SF
 PROJECT TYPE: RESIDENTIAL NEW LANDSCAPE,
 WATER SUPPLY TYPE: POTABLE WATER,

TOTAL PLANTING AREA EXCLUDING EDIBLES:
1778 SF (100%)
 PLANTING AREA INSTALLED WITH CLIMATE
 ADAPTED PLANTS THAT REQUIRE OCCASIONAL,
 LITTLE OR NO SUMMER WATER:
1778 (100%)
 TOTAL TURF AREA: 0%

MORE THAN 75% OF PLANTING USES PLANTS THAT
 REQUIRE OCCASIONAL, LITTLE OR NO SUMMER
 WATER.

LANDSCAPE DESIGN PLAN (TITLE 23, CHAPTER
 2.7):

RECIRCULATING WATER SYSTEMS SHALL BE USED
 FOR WATER FEATURES

A MINIMUM 3-INCH LAYER OF MULCH SHALL BE
 APPLIED ON ALL EXPOSED SOIL SURFACES OF
 PLANTING AREAS EXCEPT TURF AREAS,
 CREEPING OR ROOTING GROUNDCOVERS, OR
 DIRECT SEEDING APPLICATIONS WHERE MULCH IS
 CONTRAINDICATED.

FOR SOIL LESS THAN 6% ORGANIC MATTER IN THE
 TOP 6 INCHES OF SOIL, COMPOST AT A RATE OF A
 MINIMUM OF FOUR CUBIC YARDS PER 1,000
 SQUARE FEET OF PERMEABLE AREA SHALL BE
 INCORPORATED TO A DEPTH OF SIX INCHES IN TO
 THE SOIL.

AT THE TIME OF FINAL INSPECTION, THE PERMIT
 APPLICANT MUST PROVIDE THE OWNER OF THE
 PROPERTY WITH A CERTIFICATE OF COMPLETION,
 CERTIFICATE OF INSTALLATION, IRRIGATION
 SCHEDULE AND A SCHEDULE OF LANDSCAPE AND
 IRRIGATION MAINTENANCE.

**UNDERGROUND SERVICE
 ALERT (USA) - 800-227-2600
 CALL BEFORE YOU DIG.**
 CONTRACTOR TO CALL USA 2 DAYS BEFORE
 EXCAVATION TO LOCATE UNDERGROUND
 UTILITIES.

SHEET INDEX
 L-1 LANDSCAPE PLAN
 L-2 LANDSCAPE IRRIGATION PLAN
 L-3 HYDROZONE MAP AND WELO WORKSHEET

REVISION DATE	NO.
2/6/2023	1
10/3/2023	2

SHEET TITLE:
LANDSCAPE PLAN



PROJECT ADDRESS:
 FERDINAND AVE.
 EL GRANADA, CA 94018

DATE: 11/8/2022
 SCALE: 1/8" = 1'-0"
 DRAWN BY: AH
 PROJECT # 21045
 SHEET **L - 1**
 TOTAL SHEETS: 3



C L E A R L Y S U P E R I O R

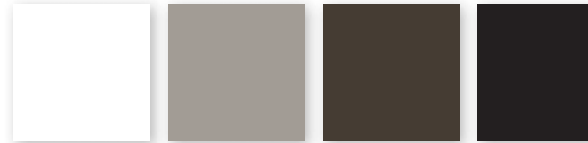


Bold Colors • Clean Lines • Durable • Energy Efficient



ABOUT US

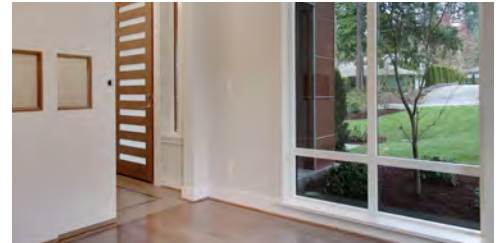
The Coeur d'Alene Window Company was founded by industry experts who understand what it takes to build a performance window for the West. While many of our competitors are controlled by investment banks or big corporations, The Coeur d'Alene Window Company is family owned. We exist to serve the people we live with, our neighbors. We think about the long term sustainability of our products and how they impact our area. Take a look at The Coeur d'Alene Window Company and you will see why we have quickly become the preferred choice for many homeowners, builders and remodelers throughout the West.



BOLD COLORS

Choose black, bronze, white or adobe or ask about our custom color options. Our color choices will enhance or complement any project.

**Please review actual color samples prior to selection.*



CLEAN LINES

No ugly accessory lines keep your view clean and clear.



ENERGY EFFICIENT

The Coeur d'Alene Window Company produces windows that easily meet today's rigid energy standards including recent .20 and .24 U-value requirements. Coeur d'Alene Windows can help you lower your heating and cooling bills, keeping you more comfortable year round.



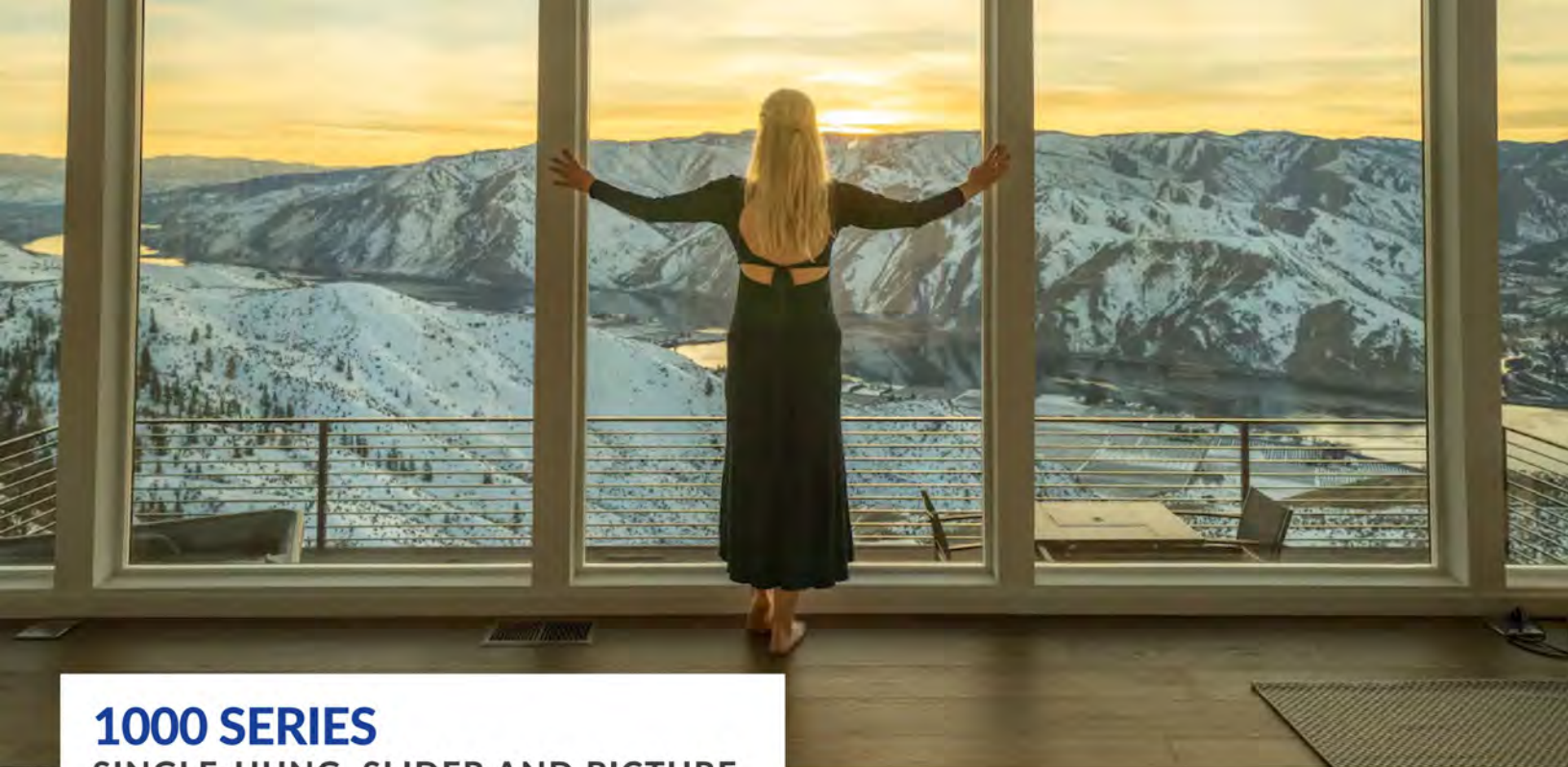
DURABLE

Optional foam filled frames help prevent heat distortion. Steel reinforced interlocks provide large windows with more strength than any vinyl, wood or composite framing alone can provide. Welded corners help reduce moisture intrusion.

UNDERSTANDING WINDOW PERFORMANCE

To know if you are getting stable, energy efficient, high performance windows, you can rely on word of mouth or worse believe every claim a manufacturer makes; but the wise consumer utilizes third party verification. The American Architectural Manufacturers Association (AAMA) and the National Fenestration Ratings Council (NFRC) are the predominant organizations that provide testing standards for the window industry. Look for certified AAMA and NFRC testing results to really understand if your window is energy efficient and structurally sound.

All Coeur d'Alene Windows are made from extruded PVC with additives to enhance weatherability. In building products, longevity is often directly related to how well a product resists moisture intrusion; PVC has vastly superior moisture resistance to either wood or wood-flour based composites.



1000 SERIES SINGLE-HUNG, SLIDER AND PICTURE

The 1000 Series Window features a 2 3/4" wide frame well suited for new construction and many aluminum window replacement applications. The 1000 Series is available in single-hung, picture and sliding configurations to complement most design choices.

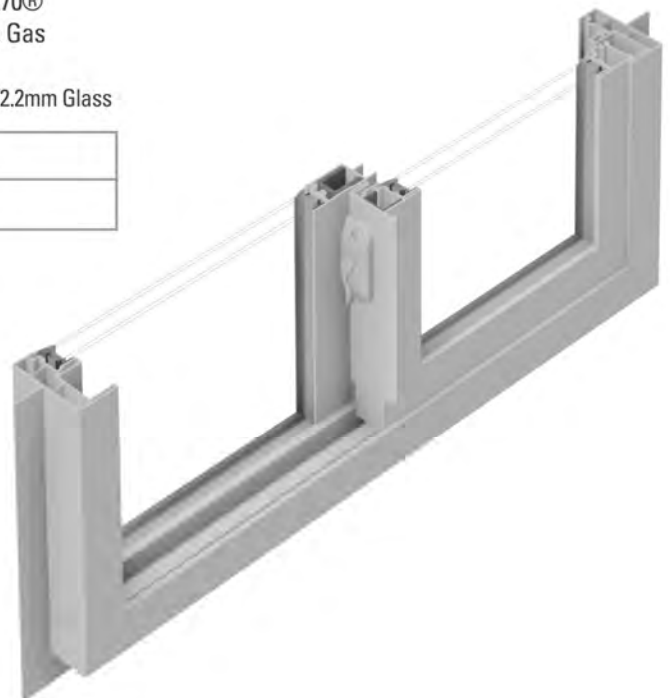


1121* SLIDING WINDOW

Indium	LoE ³ -270®	LoE ³ -366®	LoE ³ -366®	LoE ³ -270®
Argon Gas	Argon Gas	Argon Gas	Argon Gas	Argon Gas
Foam in Frame	Foam in Frame	Foam in Frame	Foam in Frame	Foam in Frame
2.2mm/3mm Glass	4mm/3mm Glass	2.2mm/2.2mm Glass	2.2mm/2.2mm Glass	2.2mm/2.2mm Glass

U-Value	.24	.28	.29	.30
SHGC	.30	.23	.22	.30

**This is only a sample of test result, please consult the NFRC Certified Products directory or a customer service rep for complete testing information*



1000 SERIES AAMA PERFORMANCE TESTING

Model	Description	Grade / Test Size
1010	Picture Window	LC PG-55 (55X55)
1121	Single-slide Window	LC PG-35 (71X55)
1221	Single Hung Window	LC PG-40 (44X75)





3000 SERIES SINGLE-HUNG, SLIDER AND PICTURE

At 3 3/8" wide, the 3000 Series is our most popular solution for today's demanding environments. The 3000 Series features a heavy extruded frame and fixed interlock for added stability. Making a stronger, more durable window may go against the trend, but we tend to be a little different at Coeur d'Alene.



3121* SLIDING WINDOW

Indium	LoE ³ -270®	LoE ³ -366®	LoE ³ -366®	LoE ³ -270®
Argon Gas	Argon Gas	Argon Gas	Argon Gas	Argon Gas
Foam in Frame	Foam in Frame	Foam in Frame	Foam in Frame	Foam in Frame
2.2mm/3mm Glass	4mm/3mm Glass	2.2mm/2.2mm Glass	2.2mm/2.2mm Glass	2.2mm/2.2mm Glass

U-Value	.24	.28	.29	.30
SHGC	.30	.23	.22	.30

*This is only a sample of test result, please consult the NFRC Certified Products directory or a customer service rep for complete testing information



3000 SERIES AAMA PERFORMANCE TESTING

Model	Description	Grade / Test Size
3310	Picture Window	LC PG-55 (55X55)
3121	Single-slide Window	LC PG-35 (71X55)
3221	Single Hung Window	LC PG-40 (44X75)





3000 SERIES CASEMENT & AWNING WINDOW

Coeur d'Alene 3000 Series Casement and Awning Windows are designed to be thermally efficient, easy to operate, look good and thrive in severe environments. Rigid PVC and thoughtfully engineered hardware provide the strength necessary for worry-free operation. Standard multi-point locks provide added security.



3411* CASEMENT WINDOW

LoE ³ -270®	Indium	
LoE ³ -180®	LoE ³ -366®	LoE ³ -270®
Argon Gas	Argon Gas	Argon Gas
2mm/2mm2/2mm Glass	3mm/3mm	2mm/2mm

U-Value	.18	.24	.28
SHGC	.23	.19	.26

**This is only a sample of test result, please consult the NFRC Certified Products directory or a customer service rep for complete testing information*



3000 SERIES CASEMENT AAMA PERFORMANCE TESTING

Model	Description	Grade / Test Size
3411	Single Casement	PG-55 (32x59)
3511	Single Awning	PG-55 (47.25x31.5)

** Ask about our PG 85 option for rugged environments and commercial applications*





**FINALLY, A DOUBLE-HUNG,
DOUBLE SLIDE WINDOW
DESIGNED FOR THE
RUGGED WEST!**

4000 SERIES DOUBLE-HUNG AND DOUBLE SLIDER

Coeur d'Alene Double-slide and Double-hung Windows are designed specifically for today's demanding environment. The double-hung features side-load removable sashes, allowing for a stronger more resilient frame than East Coast tilt-in designs. Double-hung and double-slide windows from The Coeur d'Alene Window Company provide for a traditional equal sight line view.



4622* DOUBLE-HUNG WINDOW

Indium	LoE ³ -366®	LoE ³ -366®	LoE ³ -270®
Argon Gas & Foam	Argon Gas	Argon Gas	Argon Gas

U-Value	.24	.30	.30
SHGC	.20	.24	.27

* This represents the most popular options with standard glass thickness, please check NFRC.org for a complete list of results with options.

Model	Description	Grade / Test Size
4622	Double-hung	LC PG 45 (44 X 75)
4722	Double Slide	LC PG 35 (72 X 56)

Stylish
Beveled
Exterior True
Equal-Sight
Glass





PATIO DOOR

5800 SERIES WIDE RAIL PATIO DOOR

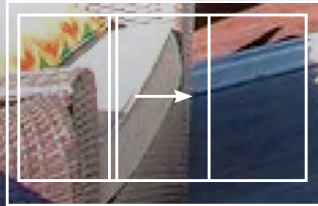
The Wide Rail Patio Door from Coeur d' Alene features the clean bold lines of a French door without the hassle of operation or the space constraints associated with swinging door products. The door also features foam filled framing and a heavy-duty extruded sliding screen door.



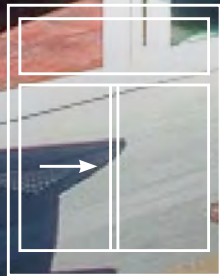
3821 / 5821



3842 / 5842



3831 / 5831



3821T / 5821T

5821 WIDE RAIL DOOR*

Indium
LoE³-366®
Argon Gas

U-Value	.23	.26
SHGC	.18	.19

3821 MODERN RAIL DOOR

Indium
LoE³-366®
Argon Gas

U-Value	.23	.27
SHGC	.22	.23

Model	Description	Grade / Test Size
3821	Patio Door	LC PG 30 (87 X 87)
5821	Patio Door	LC PG 25 (87 X 87)

* A foam filled mainframe and sash are standard on the Wide Rail Door

Note: Image shown is 3842 OXXO Modern Rail Door

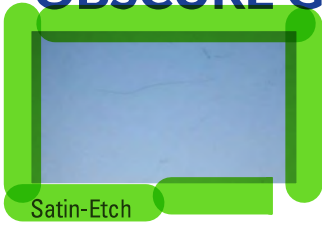


3800 SERIES MODERN RAIL DOOR

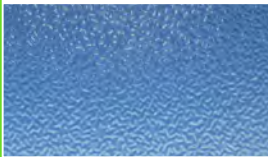
The Modern Rail Patio Door features maximum viewing area for today's contemporary homes. The sleek looks of the Modern Rail Door minimize the frame allowing you to take in the view. The Modern Door comes standard with a sleek roll formed screen. Additional options are available.



OBSCURE GLASS



Satin-Etch



P516



Glue Chip



#42 Clear



Narrow Reed



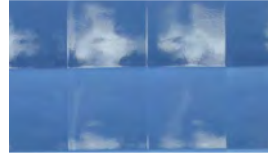
Seedy / Reamy



Rain



Mistlite



Cross Reed 5/8"



Delta Frost

LIGHT COMMERCIAL APPLICATIONS

The Coeur d'Alene Window Company produces a number of products ideally suited for the light commercial, multi-family and mixed-use markets. Offerings include a wide array of colors that

are among the industry's most energy efficient products without sacrificing structural performance. Ask your sales representative about your next project.





NEAT® GLASS

Coeur d'Alene Windows is pleased to offer NEAT® glass as an option. Neat®'s hydrophilic sheeting process keeps your windows cleaner longer.



INDIUM

Upgrade your Coeur d'Alene Windows and make them even more energy efficient by adding Indium coated glass from Cardinal® IG.



PRESERVE®

Many windows show up to the home covered with finger prints, dirt, and scratches. When you buy new windows, you expect them to be in good condition.

Preserve® Protective Film is placed on the interior and exterior of the Insulating Glass unit immediately after the glass unit is made to make sure that your new windows are delivered to you with care, clean and clear.

NEAT



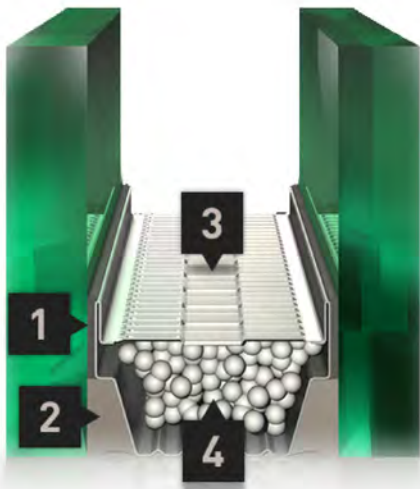
HYDROPHILIC:
Water smooths flat
and sheets off quickly

water



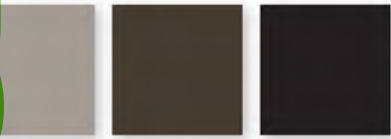
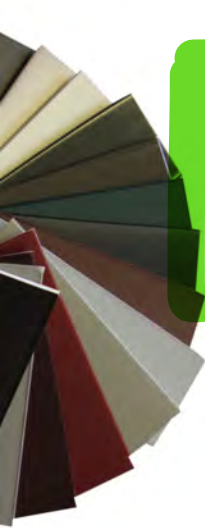
ORDINARY

HYDROPHOBIC:
Water beads up
and resists flow



ENDUR IG®

- 1 Primary Seal:** Polyisobutylene (PIB) minimizes moisture permeation, is UV resistant and provides an outstanding argon barrier.
- 2 Secondary Seal:** Specially formulated silicone for IG units provides long-term adhesion, is unaffected by UV exposure and provides excellent durability when exposed to moisture. Silicone also provides structural integrity.
- 3 Spacer:** Stainless steel spacer features a roll form design to provide maximum area for primary and secondary sealant coverage. It provides increased resistance to condensation and less stress on IG seal system. No polymer content eliminates the risk of chemical fogging.
- 4 Desiccants:** Beaded molecular sieve provides initial frost points below -65°F. Desiccant assures optimum moisture adsorption while minimizing the effects of temperature-related pressure changes.



COLORS

Coeur d'Alene Windows are available in a number of exterior colors including white, adobe, bronze and black. We also offer interior finishes and a large selection of custom colors. Please refer to our finishes brochure. Coeur d'Alene maintains it's own in house finishing production facility. We hold certifications from both AAMA and our suppliers.

**Please review actual color samples prior to selection.*

HARDWARE

Our casement and awning windows include nesting hardware that folds into the housing, keeping the hardware out of the way. This hardware is available in white, adobe, oil-rubbed bronze or nickel.



Patio Door Multi-Point Lock



Coeur d'Alene sliding and hung windows include standard camlocks in white or adobe. Ready for a contemporary alternative? Try our sleek auto-lock available in white, adobe, oil-rubbed bronze or nickel.



White Auto-lock



Adobe Auto-lock



Nickel Auto-lock



Oil-Rubbed Bronze Auto-lock

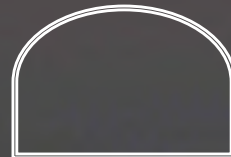
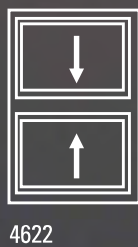
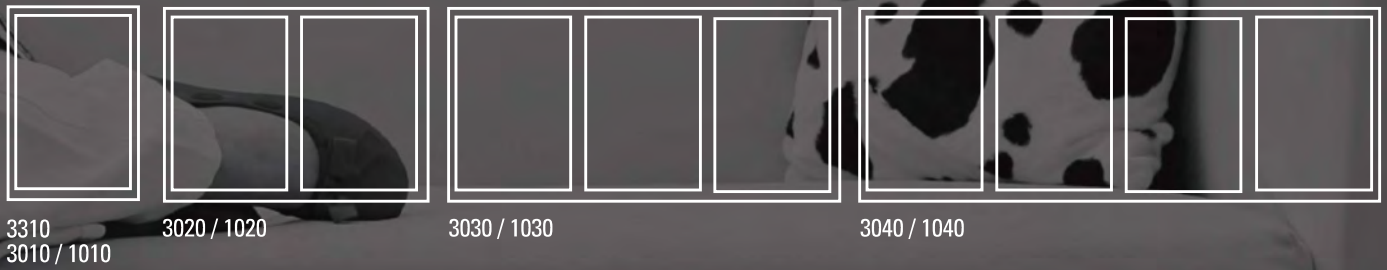
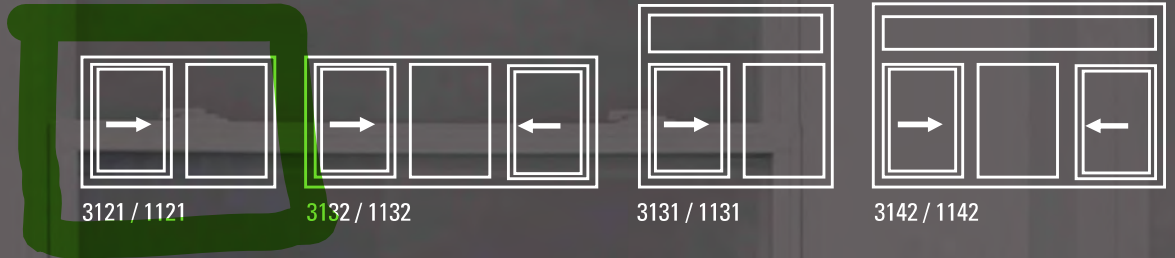


Camlock



A SAMPLING OF STYLES AND CONFIGURATIONS.

Please see a Coeur d'Alene representative for a complete selection.



A complete line of special shapes is also available



C L E A R L Y S U P E R I O R



CoeurAleneWindow.com

The information contained in this brochure is subject to change and/or revision. As a result, information may no longer be accurate. Please consult a Coeur d'Alene representative or www.coeurdalenewindow.com for the most current information available.



*Landmark,
shown in Weathered Wood*

Landmark[®]

Designer Roofing Shingles

A Classic Original

Landmark's dual-layered construction provides depth and dimension, along with extra protection from the elements. Widest array of colors in the industry.

- **Lifetime limited warranty**
- **10-year SureStart protection**
Includes materials and labor costs
- **15-year 110 MPH wind warranty**
Upgrade to 130 MPH available
- **CertaSeal[®] seals roofs tight** against wind and weather.
- **StreakFighter[®] 10-year algae resistance.**
- **QuadraBond[®] secures shingle layers together** at four points for **greater performance.**
- **NailTrak[®] wider nailing area** for a more accurate installation

CertainTeed products are tested to ensure the highest quality and comply with the following industry standards:

Fire Resistance:

- UL Class A
- UL certified to meet ASTM D3018 Type 1

Wind Resistance:

- UL certified to meet ASTM D3018 Type 1
- ASTM D3161 Class F

Tear Resistance:

- UL certified to meet ASTM D3462
- CSA standard A123.5

Wind Driven Rain Resistance:

- Miami-Dade Product Control Acceptance

Acceptance Quality Standards:

- ICC-ES-ESR-1389 & ESR-3537

LANDMARK® COLOR PALETTE



Pewter



Moiré Black



Driftwood



Weathered Wood



Heather Blend



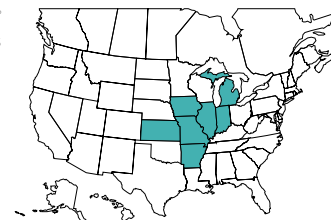
Burnt Sienna



Scan code for
more information

NOTE: Due to limitations of printing reproduction, CertainTeed can not guarantee the identical match of the actual product color to the graphic representations throughout this publication.

Landmark®
Series
available in
areas shown



CertainTeed

CEILINGS • DECKING • FENCE • GYPSUM • INSULATION • RAILING • ROOFING • SIDING • TRIM
20 Moores Road, Malvern, PA 19355 Professional: 800-233-8990 Consumer: 800-782-8777 certainteed.com

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