

September 12, 2024

Owner / Applicant: Elizabeth Lacasia
File No: PLN2021-00478
Location: 779 San Carlos, El Granada
APN: 047-105-020
CDRC Meeting: Meeting [Link](#)

Coastside Design Review Permit

The project has been reviewed for compliance with the Design Review Standards for One-Family and Two-Family Residential Development in the Midcoast, County of San Mateo Zoning Regulations Aug 2019, Chapter 28.1, Section 6565.20.

CDRC renders a no decision by split vote on Project PLN2021-00248.

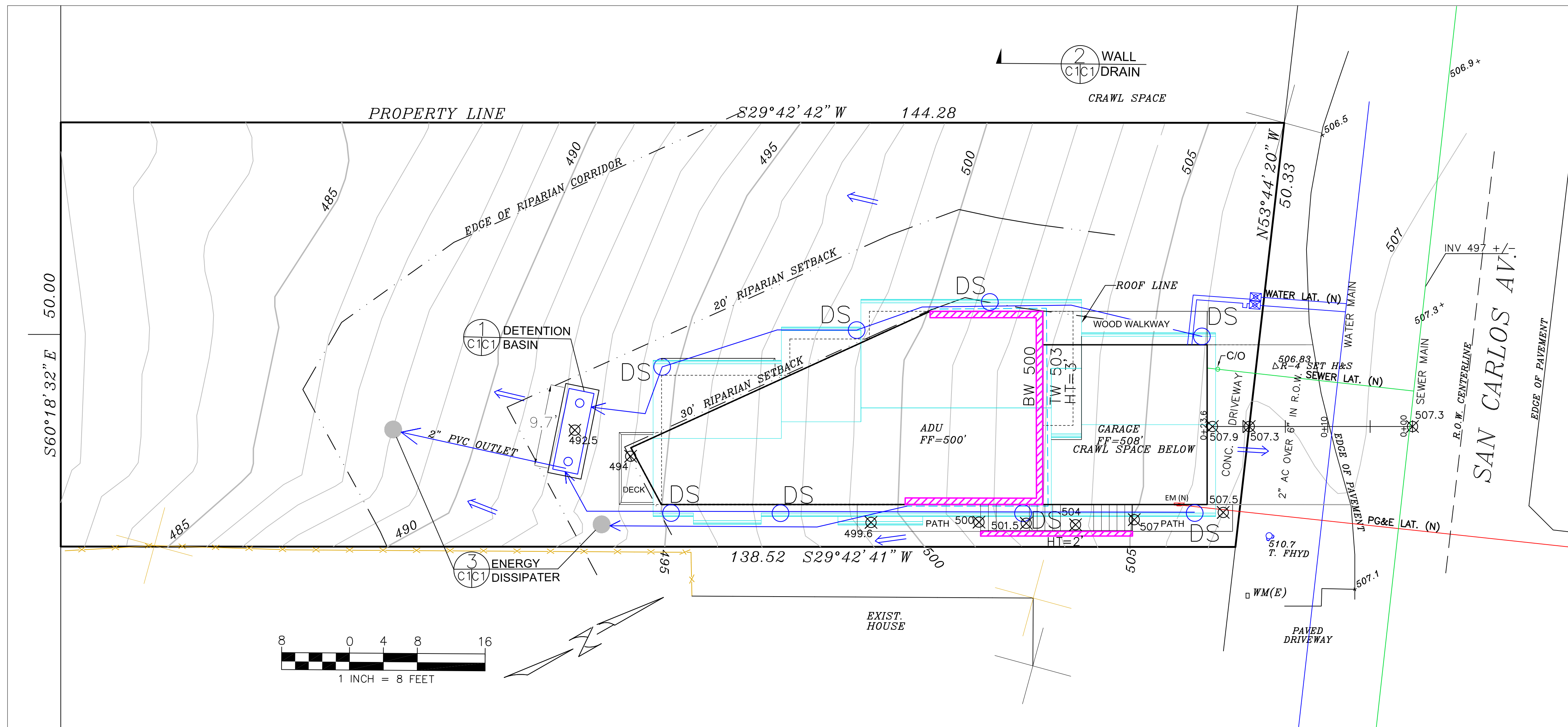
Requirements to satisfy the standards:

1. Section 6565.20(D)1b ELEMENTS OF DESIGN Neighborhood Scale: New and enlarged homes should respect the scale of the neighborhood through building dimensions, shape and form, facade articulation, or architectural details that appear proportional and complementary to other homes in the neighborhood.
Section 6565.20(D)1a ELEMENTS OF DESIGN Relationship to Existing Topography: Conform to the existing topography of the site by requiring the portion of the house above the existing grade to step up or down the hillside in the same direction as the existing grade.
The previously approved proposed building was significantly smaller and less “boxy” with a smaller upper floor than the currently proposed property. In addition to the recommendation by the CDRC to utilize a different exterior facade material (e.g., wood) between the third level and levels one and two, the committee also recommends addressing the massing towards the back of the structure as shown on the South Elevation (sheet A10). The previously approved building stepped down from third to second floor and more closely followed the contour of the natural grade than the current design which has “tallest” wall on the downslope.
2. Section 6565.20(D)2c Entries & 2d Garages: (Entries) Design front entries on a scale compatible with the other features of the house to maintain a residential rather than institutional or commercial appearance. (Garages) Avoid making the garage the dominant feature as seen from the street. Where it is unavoidable, for example on steeply sloping lots, pay special attention to garage appearance by choosing decorative doors (or two single rather than one large double door) that are consistent with the style of the

house, and by articulation of the front garage facade. **The prominence of the garage and the narrowness of the front entrance pathway appears out of scale.**

Recommendation for further review:

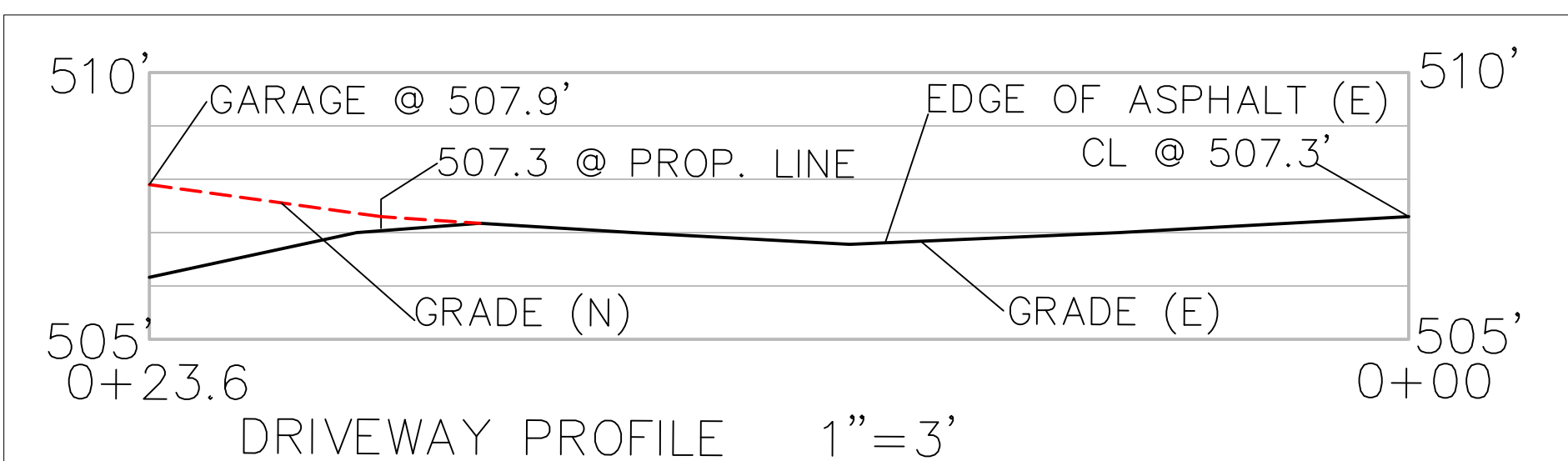
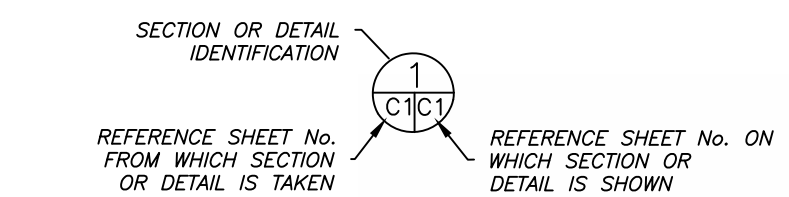
1. Spread footings at the ground level appear to encroach into the 30' riparian zone setback. Design should reflect footing width below grade.
2. Committee recommends a building section to understand the buildup from floor to ceiling.



LEGEND

- EXISTING CONTOURS
- PROPOSED SPOT ELEVATION
- ENERGY DISSIPATER - PER DETAIL 3
- DOWNSPOUT
- 4" MIN SOLID DRAIN PIPE
- 4" MIN PERFORATED DRAIN PIPE

SECTION AND DETAIL CONVENTION



GENERAL NOTES

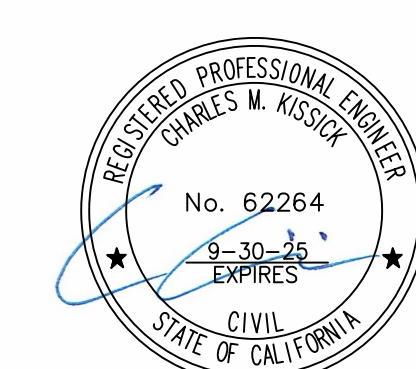
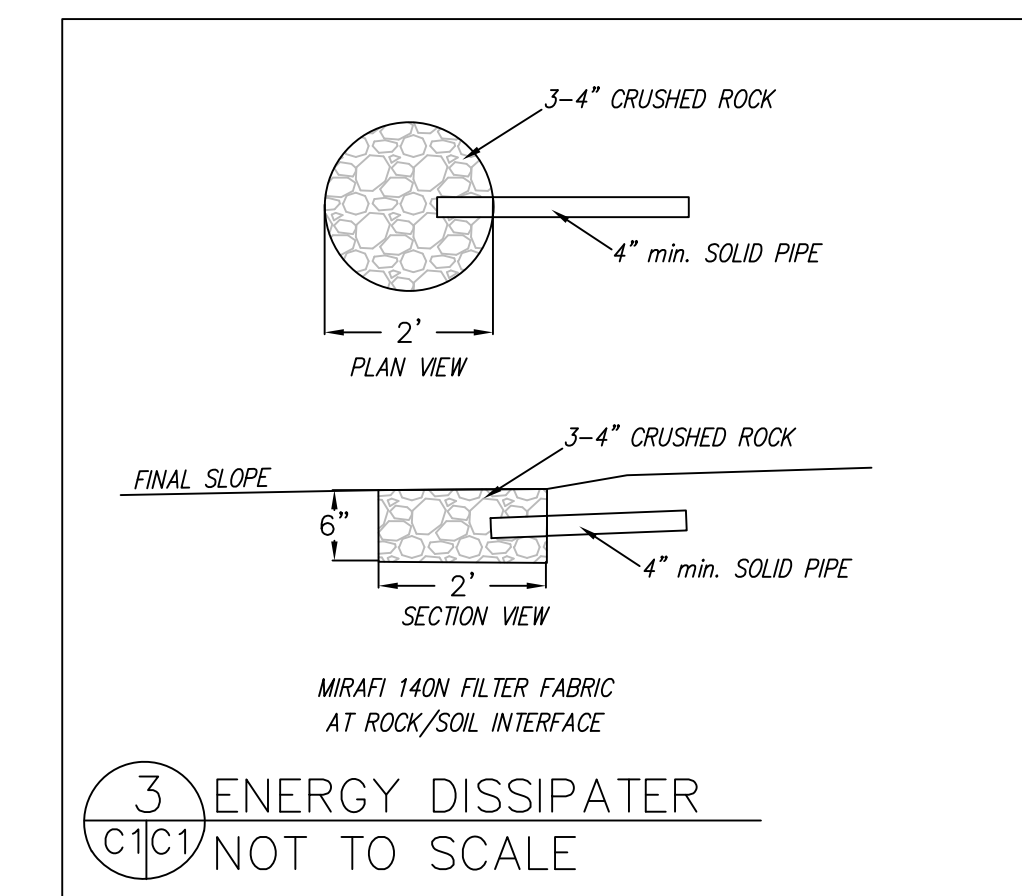
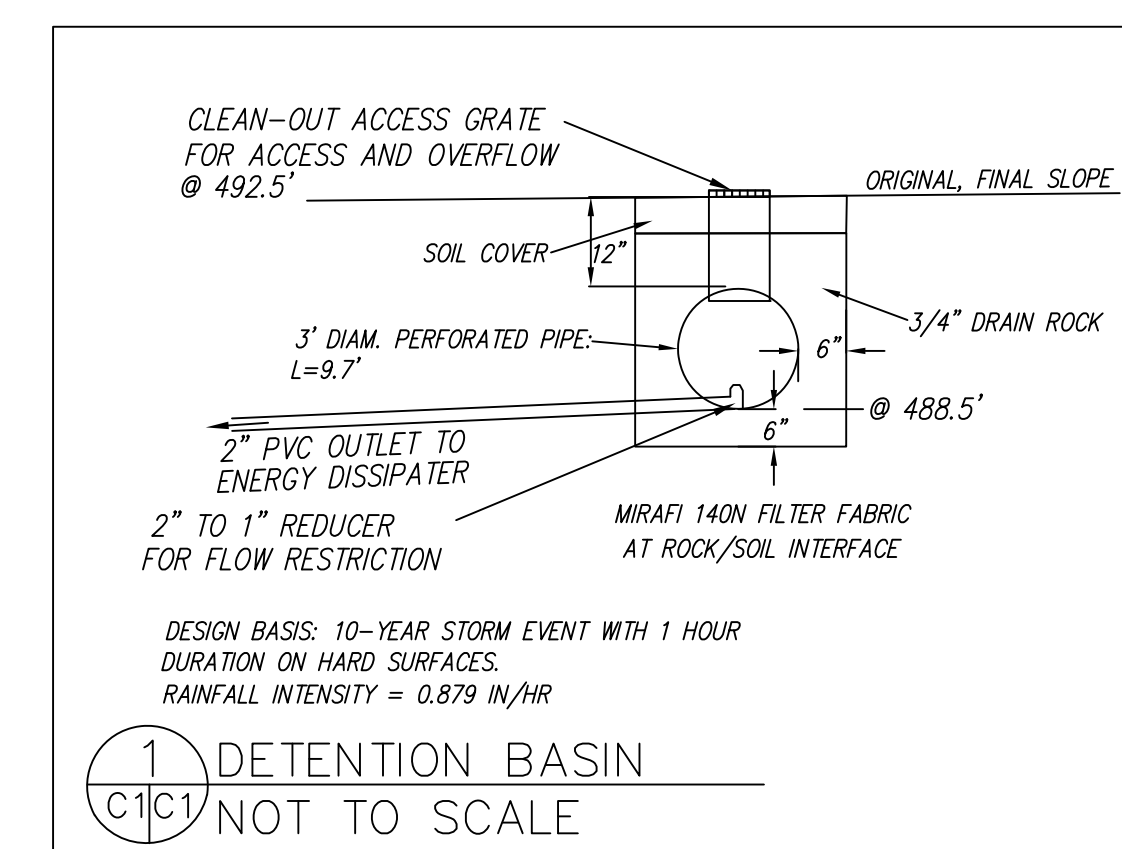
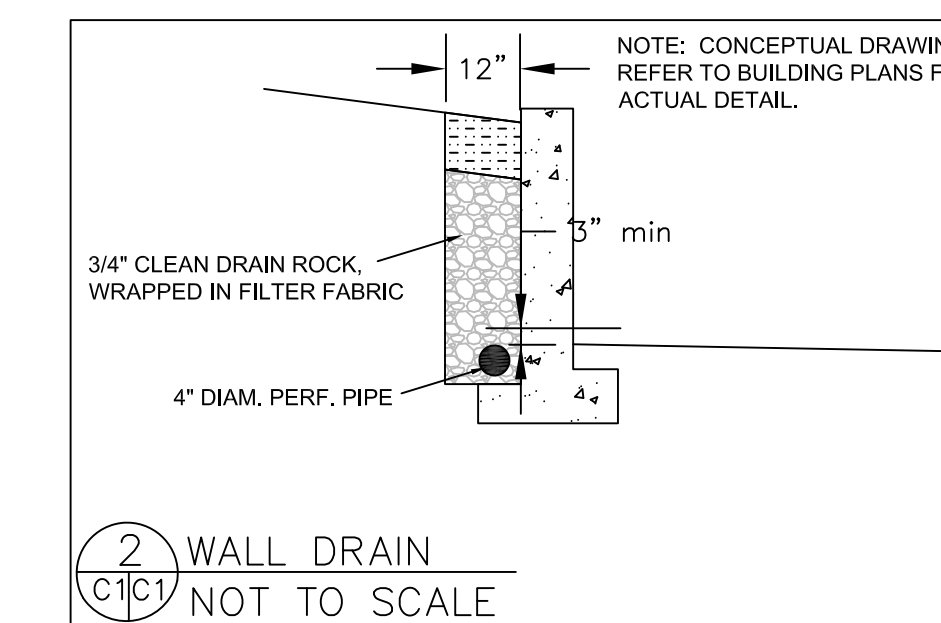
1. PLANS PREPARED AT THE REQUEST OF: ROD LACASIA, OWNER
2. TOPOGRAPHY BY M. TURNROSE, UNDATED.
3. THIS IS NOT A BOUNDARY SURVEY.
4. ELEVATION DATUM ASSUMED.
5. GEOTECHNICAL REPORT: PENDING
6. STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUB-GRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS AND PHONE NUMBER (650-306-9405 EXT 181) TO SCHEDULE COUNTY DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

DRAINAGE NOTES

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
2. ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION BASIN, AS SHOWN.
3. ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASIN/ENERGY DISSIPATER TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

GRADING NOTES

- CUT VOLUME: 60 CY
 FILL VOLUME: 10 CY
 TOTAL: 70 CY
- VOLUMES ABOVE ARE APPROXIMATE.
- THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.
- ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
- ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.



Sigma Prime Geosciences, Inc.

SIGMA PRIME GEOSCIENCES, INC.
 332 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 (650) 728-3590
 FAX 728-3593

DATE: 12-3-20	DRAWN BY: CMK	CHECKED BY: AZG	REV. DATE: 4-18-22	REV. DATE: 5-9-24	REV. DATE:
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GRADING AND DRAINAGE PLAN

LACASIA PROPERTY
 779 SAN CARLOS AVE.
 EL GRANADA
 APN 047-105-020

SHEET

C-1

GENERAL EROSION AND SEDIMENT CONTROL NOTES

FIBER ROLL
INSTALL AT LOCATIONS SHOWN.
AFIX AS SHOWN IN DETAIL SE-5

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and held.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- There are no trees or driplines on the site.

EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: ROD LACASIA
TITLE/QUALIFICATION: OWNER
PHONE: 650-766-2463
PHONE:
E-MAIL: ROD@MYRECONSTRUCTION.COM

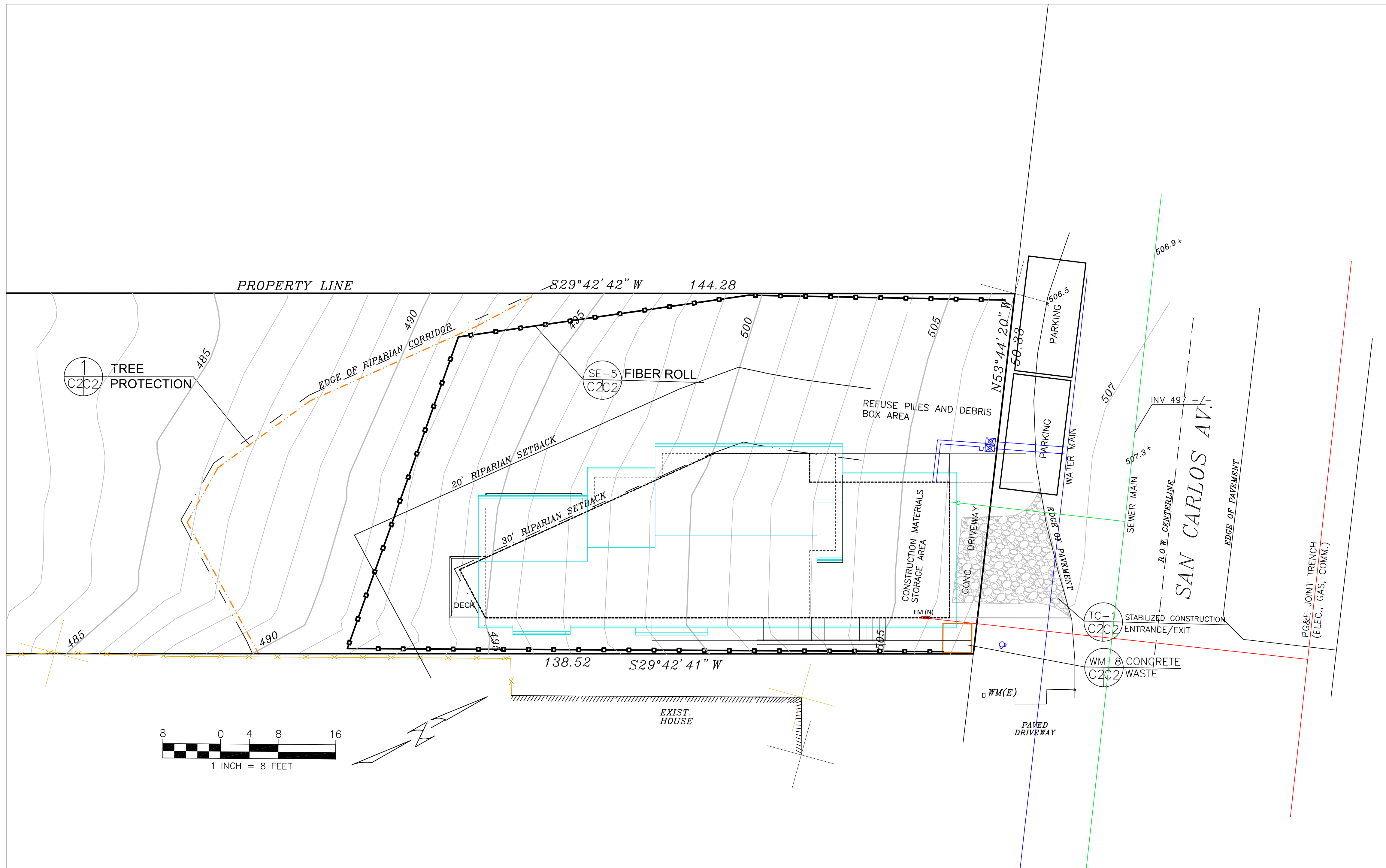


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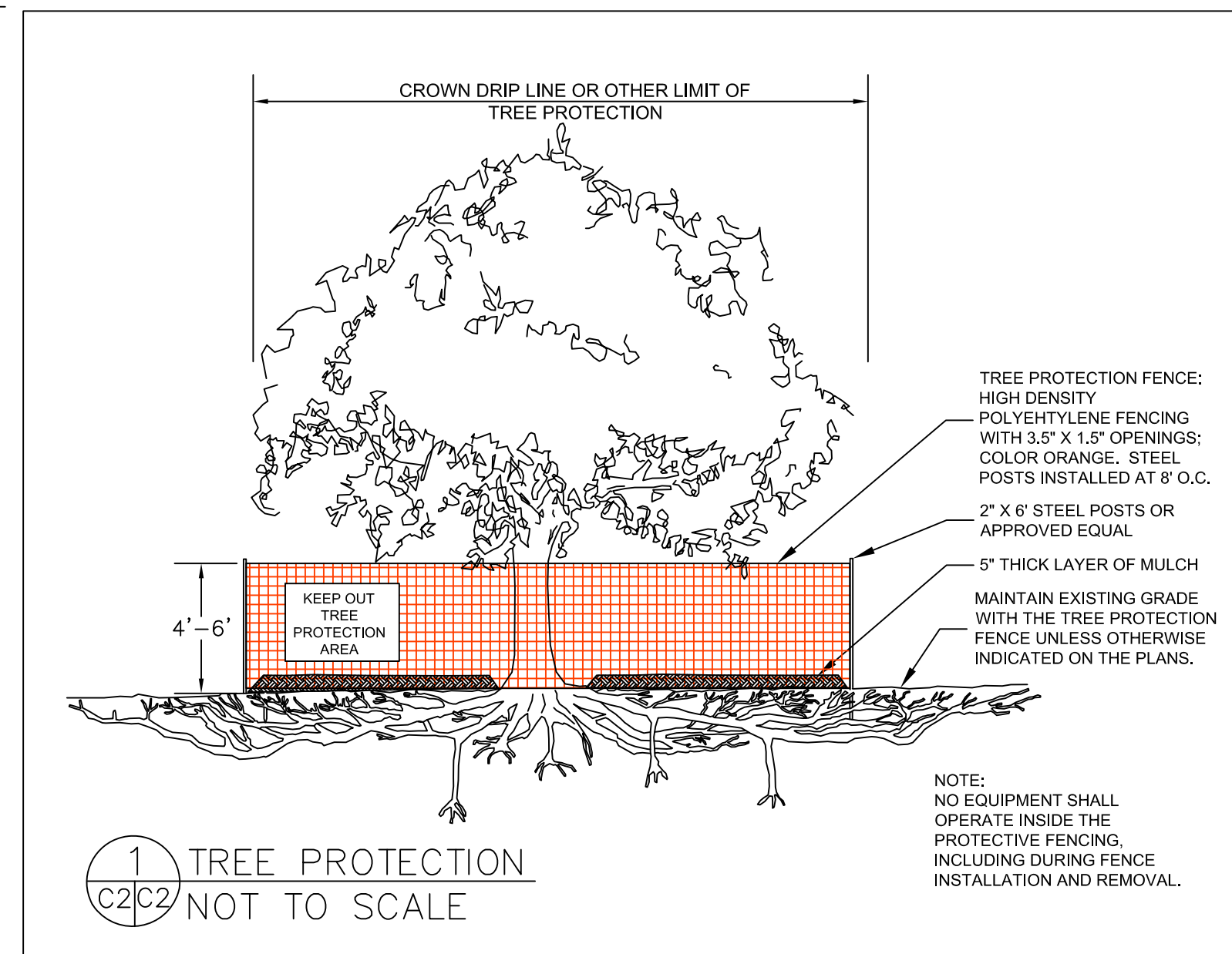
EROSION AND SEDIMENT CONTROL PLAN
LACASIA PROPERTY
779 SAN CARLOS AVE.
EL GRANADA
APN 047-105-020

SHEET
C-2

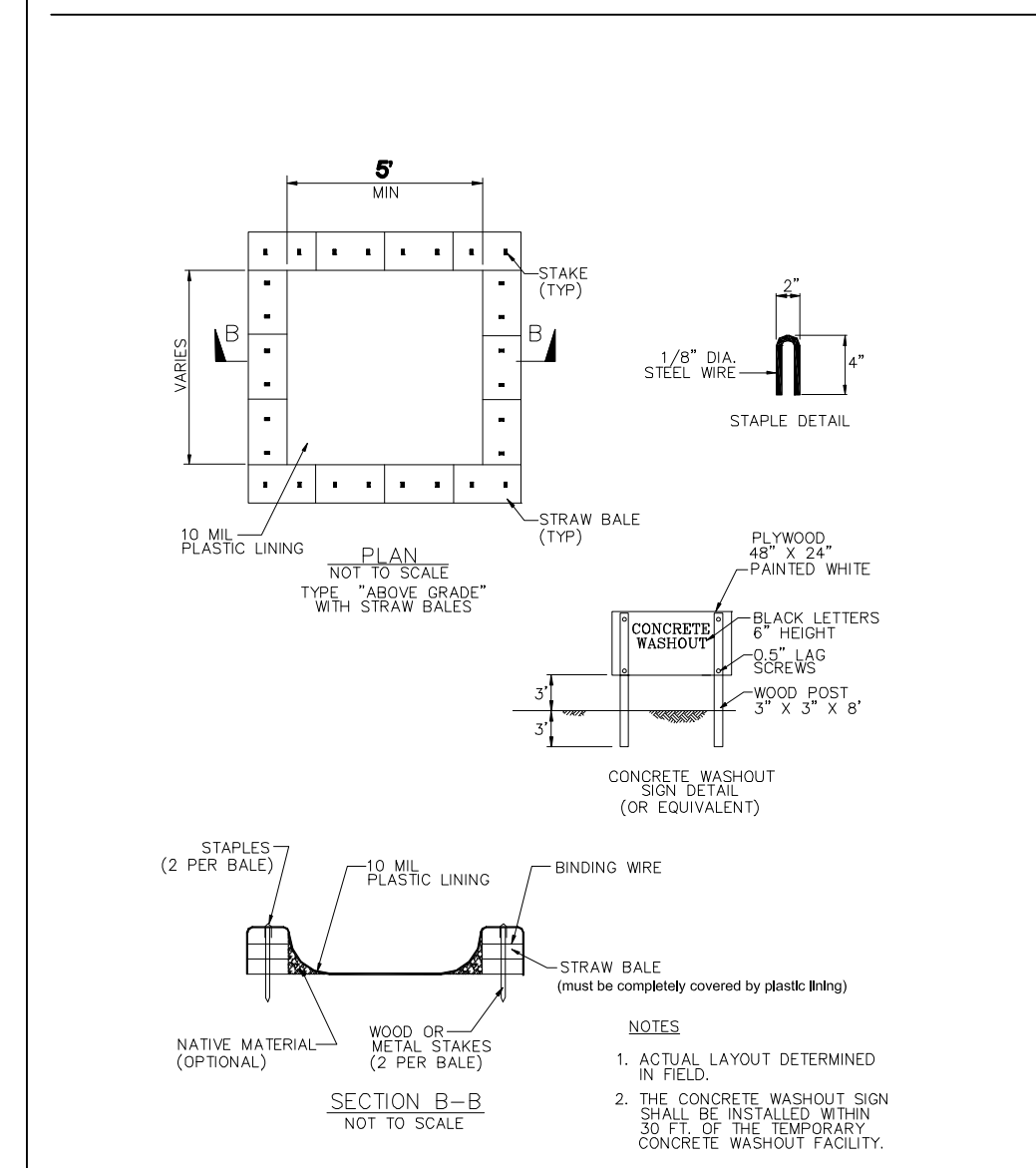


TREE PROTECTION NOTES

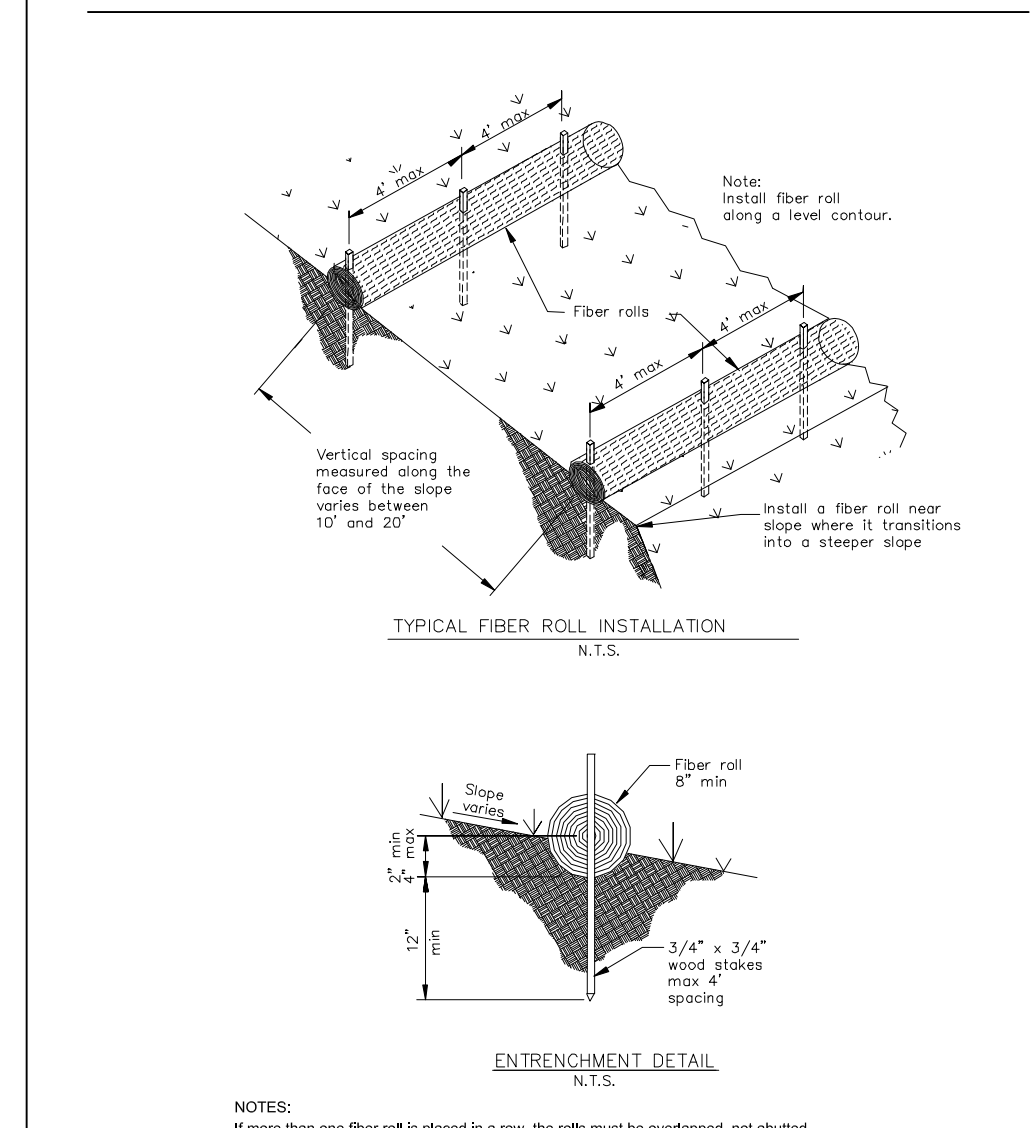
1. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY GRADING AND REMAIN ON-SITE THROUGHOUT CONSTRUCTION PROCESS.
2. TREE PROTECTION FENCES SHALL BE INSTALLED AS CLOSE TO DRIP LINES AS POSSIBLE.
3. OWNER/BUILDER SHALL MAINTAIN TREE PROTECTION ZONES FREE OF EQUIPMENT AND MATERIALS STORAGE AND SHALL NOT CLEAN ANY EQUIPMENT WITHIN THESE AREAS.
4. ANY LARGE ROOTS THAT NEED TO BE CUT SHALL BE INSPECTED BY A CERTIFIED ARBORIST OR REGISTERED FORESTER PRIOR TO CUTTING, AND MONITORED AND DOCUMENTED.
5. ROOTS TO BE CUT SHALL BE SEVERED WITH A SAW OR TOPPER.
6. PRE-CONSTRUCTION SITE INSPECTION WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.



CONCRETE WASTE MANAGEMENT WM-8



FIBER ROLLS SE-5



STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1

