

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
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1:2,257

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# Application for Design Review by the County Bayside Design Review Committee

County Government Center ■ 455 County Center ■ Redwood City CA 94063  
Mail Drop PLN 122 ■ 650 • 363 • 4161 ■ FAX 650 • 363 • 4849

Permit #: PLN 2019-00368

Other Permit #: PLN 2019-00266 ;

PRE 2019-00012

### Applicant:

Name: Robert & Bertina Maules

Address: 690 Terrace Ave.

HALF MOON BAY CA Zip: 94019

Phone, W: 650-962-4647 H: 650 717-9858

Email: BRMaules@yahoo.com

### Owner (if different from Applicant):

Name: Same

Address: \_\_\_\_\_

Zip: \_\_\_\_\_

Phone, W: \_\_\_\_\_ H: \_\_\_\_\_

Email: \_\_\_\_\_

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SEP 16 2019

San Mateo County  
Planning Division

### Architect or Designer (if different from Applicant):

Name: Peter Sushch

Address: 100 Gateway Dr. Ste. 120 Lincoln Ca Zip: 95648

Phone, W: 916-764-4378 H: \_\_\_\_\_

Email: peter.sushch@graphia.com

### Project Location:

APN: 047-208-100

Address: The Alameda

Zip: 94018

Zoning: R3/S-3/DR/CD

Parcel/lot size: 25x118 q. ft. 3056

### Site Description:

- Vacant Parcel
- Existing Development (Please describe):

### Project:

- New Single Family Residence: 2864 sq. ft
- Addition to Residence: \_\_\_\_\_ sq. ft
- Other: \_\_\_\_\_

### Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

- Done  
PLN 2019-  
00266

### Describe Project:

New Duplex with  
2 single car garages

Fill in Blanks:	Material	Color/Finish	Check if matches existing
		(If different from existing, attach sample)	
a. Exterior walls	Lap & shingle siding / fiber cement	blue	<input checked="" type="checkbox"/>
b. Trim	fiber cement	white	<input checked="" type="checkbox"/>
c. Windows	vinyl	white	<input type="checkbox"/>
d. Doors	fiber glass	white	<input type="checkbox"/>
e. Roof	Composition	black	<input type="checkbox"/>
f. Chimneys	N/A	none	<input type="checkbox"/>
g. Decks & railings	N/A	N/A	<input type="checkbox"/>
h. Stairs	N/A	N/A	<input type="checkbox"/>
i. Retaining walls	N/A	N/A	<input type="checkbox"/>
j. Fences	Vinyl	white	<input type="checkbox"/>
k. Accessory buildings	N/A	N/A	<input type="checkbox"/>
l. Garage/Carport	fiber glass	<del>black</del> white	<input type="checkbox"/>

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

(optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Robert & Bertina Moulas ..... Applicant: *Bertina Moulas*  
 Owner: ..... Applicant: Bertina Moulas

6/11/19 ..... 6/11/19  
 Date: ..... Date:

# Application for a Use Permit

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## Companion Page

SEP 16 2019

Applicant's Name : Robert & Bertina Morales

Primary Permit #: [REDACTED]

San Mateo County  
Planning Division

### 1. Instructions

PLN2019-00368

Please fill out the general Planning Permit Application Form and this form when applying for a Use Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

### 2. Project Information

This application is for:  Initial Use Permit

Renewal or Administrative Review of Existing Use Permit  
Original Permit #: \_\_\_\_\_

Amendment to an Existing Use Permit  
Original Permit #: \_\_\_\_\_

If an initial permit, please describe specifics of proposed operation (ie. hours of business, number of employees, activities, etc.).  
If an amendment to an existing permit, please describe the specific proposed changes in the operation.

7 To 3:30 p.m. Hours of operation  
4 Employees To build a new Residence  
Construction duplex

### 3. Required Finding

To approve this application, the County must determine that this project complies with all applicable regulations including the following specifically required finding:

**That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, be detrimental to the public welfare or injurious to property or improvements in the neighborhood.**

Write a brief statement in which you present evidence to support the required finding.

Blank lined area for providing evidence to support the required finding.

Planning and Building Department

**Application for a Coastal Development Permit**

**Companion Page**

455 County Center, 2nd Floor • Redwood City, CA 94063  
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

Applicant's Name: Robert & Bertina Morales  
Primary Permit # PLN2019-00368



**1. Instructions**

Please fill out the general Planning Permit Application Form and this form when applying for a Coastal Development Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

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**2. Basic Information**

San Mateo County  
Planning Division

Does the owner or applicant own any adjacent property not listed?

Yes  No

If yes, list Assessor's Parcel Number(s):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Have you or anyone else previously applied to either the County of San Mateo or the California Coastal Commission for a Coastal Development Permit for this or a similar project at this location?

Yes  No

If yes, explain (include date and application file numbers).

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**3. Materials and Finish of Proposed Buildings or Structures**

Note: By completing this section you do not need to file a separate application for Design Review Approval.

Fill in Blanks:	Material	Color/Finish	Check if matches existing
a. Exterior Walls	<u>Siding</u>	<u>Blue</u>	<input type="checkbox"/>
b. Trim	<u>painted wood</u>	<u>White</u>	<input type="checkbox"/>
c. Roof	<u>Asphalt Composition shingles</u>	<u>Black</u>	<input type="checkbox"/>
d. Chimneys	<u>none</u>	<u>N/A</u>	<input type="checkbox"/>
e. Accessory Buildings	<u>none</u>	<u>N/A</u>	<input type="checkbox"/>
f. Decks <u>Stairs</u>	<u>Inside The house wood</u>	<u>Natural</u>	<input type="checkbox"/>
g. Retaining Walls	<u>none</u>	<u>N/A</u>	<input type="checkbox"/>
h. Fences	<u>Red wood</u>	<u>Natural</u>	<input type="checkbox"/>
i. Storage Tanks	<u>none</u>	<u>N/A</u>	<input type="checkbox"/>

## 4. Project Information

Does this project, the parcel on which it is located or the immediate vicinity involve or include:

- |  | Yes                                 | No                                  |
|--|-------------------------------------|-------------------------------------|
| a. Demolition of existing housing units?<br>(If yes, give value of owner-occupied units or current monthly rent of rental units in explanation below.) | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| b. Creeks, streams, lakes or ponds?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| c. Wetlands (marshes, swamps, mudflats)?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| d. Beaches?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| e. Sand Dunes?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| f. Sea cliff, coastal bluffs or blufftops?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| g. Ridgetops?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| h. Pampas Grass, invasive brooms or Weedy Thistle?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| i. Removal of trees or vegetation?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| j. Grading or alteration of landforms?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| k. Landscaping?  | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| l. Signs?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| m. Phone or utility line extensions or connections, either above or below ground (explain which)?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| n. Areas subject to flooding?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| o. Development on slopes 30% or steeper?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |

- |  |                          |                                     |
|--|--------------------------|-------------------------------------|
| p. Between the sea and the nearest public road?                        | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| q. Existing or proposed provisions for public access to the shoreline? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| r. Public or commercial recreation facilities?                         | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| s. Visitor-serving facilities?   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| t. Existing or proposed public trail easements?                        | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Explain all Yes answers below.** Indicate whether the item applies to the project itself, the parcel on which it is located, or the immediate vicinity (attach additional sheets if necessary):

will need a landscaping plan  
for the new construction

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## 5. Staff Use Only

### California Coastal Commission Jurisdiction

**A.** Does the Proposed Project Involve:

- A subdivision, Certificate of Compliance Type B, Use Permit, or Planned Agricultural District Permit?  
 Yes       No
- Construction or grading within 100 feet of a stream or wetland?  
 Yes       No
- A parcel located between the sea and the first public through road paralleling the sea; 300 feet from the inland extent of any beach or mean high tide line if there is no beach; or within 300 feet of the top of the seaward face of a coastal bluff?  
 Yes       No

Yes to any one of the above means that the Coastal Development Permit is appealable to the Coastal

Commission; a public hearing is always required.

**B.** Does the proposed project involve lands below the mean high tide line and lands where the public trust may exist? (See "Post CCP Certification Permit and Appeal Jurisdiction Map).

Yes       No

Yes to above means that the California Coastal Commission retains permit jurisdiction over all or part of the proposed project. A Coastal Development Permit from that agency is required.

Reviewed by: 

# Environmental Information Disclosure Form

PLN ~~PLN 2019-00368~~  
 BLD PLN2019-00368

Project Address:  
Alameda El Granada  
CALIF.  
 Assessor's Parcel No.: 047-208-100  
 Zoning District: R-3/S-3/Delco

Name of Owner: Robert & Bertina Moulis  
 Address: 690 Terrace Ave.  
H.M.B. Ct. Phone: 650 759-7814  
 Name of Applicant: Robert Moulis  
 Address: same Phone: \_\_\_\_\_

## Existing Site Conditions

Parcel size: ±2,950 SF

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation).

Vacant

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San Mateo County  
 Planning Division

## Environmental Review Checklist

### 1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
	<input checked="" type="checkbox"/>	d. Removal of mature tree(s) ( ≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
<input checked="" type="checkbox"/>		e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : <u>30</u> c.y. Fill: <u>10</u> c.y.
	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Signature required on reverse →

## 2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
	<input checked="" type="checkbox"/>	a. Construction outside of the footprint of an existing, legal structure?
	<input checked="" type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
	<input checked="" type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
	<input checked="" type="checkbox"/>	d. Land-use within a riparian area?
	<input checked="" type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
	<input checked="" type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?

Please explain any "Yes" answers:

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## 3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
	<input checked="" type="checkbox"/>	<p>a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u></p> <p>If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.</p>
	<input checked="" type="checkbox"/>	<p>b. <u>Land disturbance of 1 acre or more of area?</u></p> <p>If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <u>prior</u> to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.</p>

## Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed:



Date:

10-3-19

(Applicant may sign)

# NEW PROJECT FOR: BERTINA & ROBERT MOULES

APN 047-208-100  
EL GRANADA, CA 94018



**GENERAL PROJECT NOTES:**

- THIS PROJECT MUST COMPLY WITH THE LATEST ADOPTED APPLICABLE CODES, OF WHICH THE FOLLOWING MODEL CODES, WITH APPLICABLE STATE AMENDMENTS, ARE PRESENTATIVE, AND SHALL BE CONSIDERED TO BE A PART OF THESE DRAWINGS:  
A. CALIFORNIA RESIDENTIAL BUILDING CODE (2016)  
B. CALIFORNIA BUILDING CODE (2016)  
C. CALIFORNIA MECHANICAL CODE (2016)  
D. CALIFORNIA PLUMBING CODE (2016)  
E. CALIFORNIA ELECTRICAL CODE (2016)  
F. CALIFORNIA ENERGY AND ACCESSIBILITY STANDARDS (2016)  
G. CALIFORNIA GREEN BUILDING CODE (2016)  
H. CALIFORNIA FIRE CODE (2016)  
I. CALIFORNIA REFERENCE STANDARDS CODE (2016)  
J. CITY OF GROVER BEACH MUNICIPAL CODE
- THESE NOTES SHALL APPLY TO ALL DRAWINGS UNLESS OTHERWISE NOTED OR SHOWN. FEATURES OF CONSTRUCTION SHOWN ARE TYPICAL AND THEY SHALL APPLY GENERALLY THROUGHOUT SIMILAR CONDITIONS. ALL OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR GENERAL NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER/DESIGNER BY THE GENERAL CONTRACTOR BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.
- SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- DO NOT SCALE DRAWINGS. DIMENSIONS SHALL SUPERCEDE DRAWING SCALE OR PROPORTION. LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- ALL WORK AND CONSTRUCTION METHODS AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE BUILDING CODES AND OTHER RULES, REGULATIONS AND ORDINANCES GOVERNING THE CONSTRUCTION SITE. BUILDING CODE REQUIREMENTS IN ALL CASES TAKE PRECEDENCE OVER THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR AND/OR MATERIALS TO BRING TO THE ATTENTION OF THE ARCHITECT/ENGINEER/DESIGNER ANY DISCREPANCIES OR CONFLICTS BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.
- THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE SHOWN, THEY DO NOT INDICATE METHOD OF CONSTRUCTION. CONTRACTOR SHALL SUPERVISE AND DIRECT WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE ARCHITECT/ENGINEER/DESIGNER SHALL NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES REQUIRED FOR SAME, WHICH ARE THE RESPONSIBILITY OF THE CONTRACTOR. ANY SUPPORT SERVICES PERFORMED BY THE ARCHITECT/ENGINEER/DESIGNER OF RECORD DURING CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES, WHICH ARE FURNISHED BY OTHERS. THESE SUPPORT SERVICES PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE WITH CONTRACT DRAWINGS, SPECIFICATIONS AND CONDITIONS OF AGENCY APPROVAL, THEREFORE THEY DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSIDERED AS SUPERVISION OF CONSTRUCTION.
- CONTRACTOR GUARANTEES TO THE OWNER AND THE ARCHITECT/ENGINEER/DESIGNER THAT ALL MATERIALS, FIXTURES AND EQUIPMENT FURNISHED TO THE PROJECT ARE NEW UNLESS OTHERWISE SPECIFIED. CONTRACTOR ALSO WARRANTS THAT ALL WORK WILL BE OF GOOD QUALITY AND FREE FROM ANY FAULTS AND DEFECTS FOR A PERIOD OF ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION, UNLESS A GREATER WARRANTY OR GUARANTEE IS REQUIRED BY THE PROJECT SPECIFICATIONS.
- ANYONE SUPPLYING LABOR AND/OR MATERIALS TO THE PROJECT SHALL CAREFULLY EXAMINE ALL SUBSURFACES TO RECEIVE WORK. ANY CONDITIONS DETRIMENTAL TO WORK SHALL BE REPORTED IN WRITING TO THE CONTRACTOR PRIOR TO BEGINNING WORK. COMMENCEMENT OF WORK SHALL IMPLY ACCEPTANCE OF ALL SUBSURFACES.
- REFER TO ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR DEPRESSED SLABS, CURB FINISHES, TEXTURES, CLIPS, GROUNDS, ETC., NOT SHOWN ON STRUCTURAL DRAWINGS.
- ANY MATERIALS STORED AT THE SITE SHALL BE COMPLETELY SUPPORTED FREE OF THE GROUND, COVERED AND OTHERWISE PROTECTED TO AVOID DAMAGE FROM THE ELEMENTS.
- MORE DETAILED INFORMATION SHALL TAKE PRECEDENCE OVER LESSER DETAILED INFORMATION. SPECIFICATIONS SHALL TAKE PRECEDENCE OVER DRAWINGS.
- GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL APPLICABLE CODES AND LOCAL ORDINANCES.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE OR DISBURSE ANY EXCESS MATERIAL FROM PROJECT SITE.
- THIS SET OF PLANS TO BE ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPROVED PLANS. NO CHANGES OR REVISIONS TO THE APPROVED PLANS OR SPECIFICATIONS SHALL BE PERMITTED UNLESS SUBMITTED TO AND APPROVED BY THE BUILDING OFFICIAL. THE ISSUANCE OF A PERMIT SHALL NOT PREVENT THE BUILDING OFFICIAL FROM REQUIRING THE CORRECTION OF ERRORS OR OMISSIONS FROM THE APPROVED PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY ALL SETBACKS, EASEMENTS, CONTOURS, AND BUILDING PAD PRIOR TO CONSTRUCTION.
- TRUSS CALCULATIONS FOR APPROVED PROJECTS ARE REQUIRED TO BE ON THE JOB SITE AT TIME OF FRAMING INSPECTION WITH APPROPRIATE REQUIRED SIGNATURES AND STATEMENT AS FOLLOWS: TRUSS CALCULATIONS SHALL INCLUDE THE WET-STAMP AND SIGNATURE OF THE TRUSS DESIGN ENGINEER. IN ADDITION THEY SHALL INCLUDE ON THE COVER SHEET A WET-SIGNED STATEMENT FROM THE PROJECT'S DESIGN ENGINEER THAT TRUSS CALCULATIONS AND LAYOUTS ARE IN SUBSTANTIAL CONFORMANCE WITH THE STRUCTURAL DESIGN AND INTENT OF THE STRUCTURE. FAILURE TO PROVIDE THEM AS STATED WILL RESULT IN A CORRECTION AND A FAILURE TO PASS FRAMING INSPECTION.
- VERIFY LOCATION OF ALL UTILITY TIE-INS AT STREET AND POINT OF CONNECTIONS AT BUILDING(S) PRIOR TO CONSTRUCTION.
- A COPY OF THE SOILS REPORT SHALL BE ON SITE DURING FOUNDATION INSPECTION.
- ALL PROPERTY CORNERS SHOULD BE ESTABLISHED AT THE TIME OF FOUNDATION INSPECTION.
- THE CONTRACTOR AND ALL SUB-CONTRACTORS WILL BE HELD ACCOUNTABLE TO THE ABOVE GENERAL NOTES FOR THE CONSTRUCTION OF THE PROJECT.
- IF THE PROJECT REQUIRES EXCAVATIONS OR TRENCHING EXCEEDING 5' IN DEPTH, THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COPY OF THE ANNUAL OR PROVISIONAL OSHA PERMIT TO THE BUILDING DEPARTMENT.
- ELECTRICAL WORK SHALL BE PERFORMED BY A CALIFORNIA STATE LICENSED ELECTRICIAN.

## ARCHITECTURAL SHEET INDEX

SHEET	SHEET DESCRIPTION
A0.11	COVER SHEET
A2.11	SITE PLAN
A3.11	FLOOR PLANS
A3.31	ROOF PLAN
A4.11	SCHEDULES
A4.12	SCHEDULES
A7.00	PERSPECTIVES
A7.11	EXTERIOR ELEVATIONS
A7.21	EXTERIOR ELEVATIONS
A8.11	SECTIONS
A9.11	DETAILS
EN0	TITLE 24
EN1	TITLE 24
EN2	CAL GREEN REQUIREMENTS
EN3	CAL GREEN REQUIREMENTS
EN4	CAL GREEN REQUIREMENTS
EN5	CAL GREEN REQUIREMENTS
EN6	CAL GREEN REQUIREMENTS
S0.11	STRUCTURAL NOTES AND SPECIFICATIONS
S1.11	FOUNDATION AND FLOOR FRAMING PLANS
S2.11	LEVEL-1 & 2 SHEARWALL PLAN
S3.11	ROOF FRAMING PLAN
SD1	STRUCTURAL DETAILS
SD2	STRUCTURAL DETAILS

**SEAN FREITAS**  
ARCHITECT

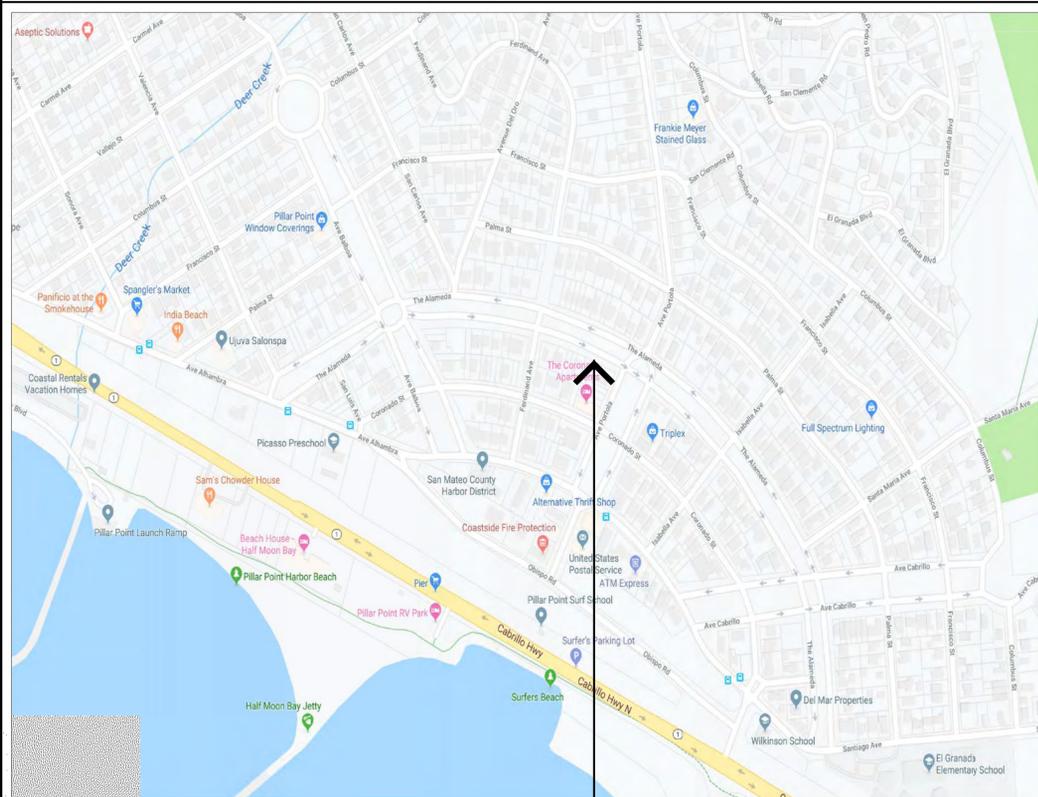
FreitasAIA.com

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF SEAN FREITAS, ARCHITECT. ALL DESIGN INFORMATION CONTAINED IN THESE DRAWINGS ARE FOR THE USE OF THE SPECIFIED PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT EXPRESSED WRITTEN PERMISSION BY SEAN FREITAS, ARCHITECT.

PROJECT: 20190109

CLIENT:  
ROBERT & BERTINA MOULES  
APN 047-208-100  
EL GRANADA, CA 94018  
Tel:  
Email:

### PROJECT VICINITY MAP



### BUILDING SHEET ABBREVIATIONS

AB	ANCHOR BOLT	GALV	GALVANIZED	SHTHG	SHEATHING
ADJ	ADJACENT	GL	GLASS	SHWR	SHOWER
ALUM	ALUMINUM	GYP	GYPSUM	SIM	SIMILAR
BM	BEAM	H	HIGH OR HEIGHT	SIMP	'SIMPSON'
BOW	BOTTOM OF WALL	HB	HOSE BIBB	SLD	SLIDING
BLKG	BLOCKING	JTS	JOIST	S&P	SHELF & POLE
BRD	BOARD	LAV	LAVATORY	STRUCT	STRUCTURAL
CC	CENTER TO CENTER	LB	POUND	T	TREAD
CL	CENTERLINE	LIN	LINEN	TEMP	TEMPERED
CEM	CEMENT	LT	LIGHT	TOC	TOP OF CONCRETE
CER	CERAMIC	MANF	MANUFACTURER	TOG	TOP OF GRADE
CJ	CONTROL JOINT	MAX	MAXIMUM	TOF	TOP OF FLOOR
CLG	CEILING	MC	MEDICINE CABINET	TOP	TOP OF PAVEMENT
CLR	CLEAR	MIN	MINIMUM	TOS	TOP OF SLAB
CLO	CLOSET	MTL	METAL	TOW	TOP OF WALL
CO	CLEANOUT	N	NORTH	TV	TELEVISION
CONC	CONCRETE	O/	OVER	TYP	TYPICAL
CONTIN	CONTINUOUS	OC	ON CENTER	UCR	UNDER COUNTER REFRIG.
DBL	DOUBLE	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED	W	WEST
DF	DOUGLAS FIR			W/	WITH
DI	DRAIN INLET	PB	PUSH BUTTON	WC	WATER CLOSET
DIA	DIAMETER	PH	PHONE	WD	WOOD
DR	DOOR	PL	PLATE	WH	WATER HEATER
DW	DISH WASHER	POC	POINT OF CONNECTION	WP	WATER PROOF
E	EAST	PT	PRESSURE TREATED	WWM	WELDED WIRE MESH
EL	ELEVATION	R	RISER		
EQ	EQUAL	REF	REFRIGERATOR		
FF	FINISH FLOOR	REINF	REINFORCED		
FIX	FIXTURE	RM	ROOM		
FLUOR	FLUORESCENT	RWD	REDWOOD		
FP	FIRE PLACE	S	SOUTH		
GA	GAUGE	SB	SET BACK		
GFCI	GROUND FAULT INTERRUPTER	SF	SQUARE FOOT		

### PROJECT TEAM

**DESIGNER:**  
SEAN FREITAS ARCHITECT  
ROCKLIN, CA 95765  
916-553-2472  
Sean@SeanFreitas.com

**STRUCTURAL ENGINEER:**  
SEAN FREITAS ARCHITECT  
ROCKLIN, CA 95765  
916-553-2472  
Sean@SeanFreitas.com

**TITLE 24 ENERGY CONSULTANT:**  
SEAN FREITAS ARCHITECT  
ROCKLIN, CA 95765  
916-553-2472  
Sean@SeanFreitas.com

**CIVIL ENGINEER:**

### FIRE PROTECTION DESIGN:

1. FIRE SPRINKLERS

### SEPERATE PERMITS REQUIRED

1. FIRE SPRINKLERS  
2. LANDSCAPE PLANS

### DEFERRED SUBMITTALS

1. FIRE SPRINKLERS  
2. LANDSCAPE PLANS

### SPECIAL APPROVALS

1. ALL CONSTRUCTION WORK AND INSTALLATIONS SHALL CONFORM TO THE CITY OF GROVER BEACH STANDARDS AND SPECIFICATIONS, AND ALL WORK SHALL BE SUBJECT TO THE APPROVAL OF THE COMMUNITY DEVELOPMENT DIRECTOR OR CITY ENGINEER.

### SPECIAL INSPECTIONS

1. SOILS  
2. CONCRETE CONSTRUCTION  
3. HIGH LOAD DIAPHRAGMS  
4.

### PROJECT DATA

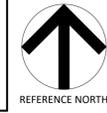
PROJECT APN:	047-208-100
ZONING:	R-3, S-3, DR, CD
TOTAL AREA OF PROJECT SITE:	3,290 SF LOT COVERAGE (ALLOWED) - 1,480.5 SF (45%) 0.075 ACRES LOT COVERAGE (PROPOSED) - 1,464 SF (44%)
PROJECT SCOPE:	NEW CONSTRUCTION (DUPLX)
PROPOSED UNITS:	2
PARKING:	REQUIRED: 2 PROPOSED: 2
APPLICABLE BUILDING CODE:	2016 CBC, CRC, CEC, CMC, CPC, CEC, CEC (ENERGY CODE), CFC, & CGBC
OCCUPANCY GROUP:	LEVEL 1: R-3 LEVEL 2: R-3
CONSTRUCTION TYPE:	TYPE V-B FIRE-SPRINKLED

### PROJECT BUILDING AREA

UNCONDITIONED AREA:	EXISTING AREA	NEW AREA	TOTAL AREA
UNIT A - LEVEL 1 - GARAGE	0 SF	234 SF	234 SF
UNIT B - LEVEL 1 - GARAGE	0 SF	234 SF	234 SF
	0 SF	0 SF	0 SF
	0 SF	0 SF	0 SF
	0 SF	0 SF	0 SF
	0 SF	0 SF	0 SF
<b>TOTAL UNCONDITIONED AREA:</b>	<b>0 SF</b>	<b>468 SF</b>	<b>468 SF</b>
CONDITIONED AREA:	EXISTING AREA	NEW AREA	TOTAL AREA
UNIT A - LEVEL 1 - LIVING AREA	0 SF	497 SF	497 SF
UNIT A - LEVEL 2 - LIVING AREA	0 SF	701 SF	701 SF
UNIT B - LEVEL 1 - LIVING AREA	0 SF	497 SF	497 SF
UNIT B - LEVEL 2 - LIVING AREA	0 SF	701 SF	701 SF
	0 SF	0 SF	0 SF
	0 SF	0 SF	0 SF
	0 SF	0 SF	0 SF
<b>TOTAL CONDITIONED AREA:</b>	<b>0 SF</b>	<b>2396 SF</b>	<b>2396 SF</b>
<b>TOTAL BUILDING AREA:</b>	<b>0 SF</b>	<b>2864 SF</b>	<b>2864 SF</b>
STRUCTURE LOT COVERAGE:	0 SF 0%	1486.19 SF 48.63 %	1486.19 SF 48.63 %
PAVING LOT COVERAGE: (PAVERS)	0 SF 0%	134 SF 4.38 %	134 SF 4.38 %
LANDSCAPE LOT COVERAGE:	0 SF 0%	250.98 SF 8.21 %	250.98 SF 8.21 %
WALKWAYS/OTHER COVERAGE:	0 SF 0%	447.53 SF 14.64 %	447.53 SF 14.64 %

\* SEE SHEET 3.11 FOR SPECIFIC ROOM AREAS

NEW PROJECT FOR:  
**BERTINA & ROBERT MOULES**  
APN 047-208-100  
EL GRANADA, CA 94018



NEW PROJECT FOR:  
**BERTINA & ROBERT MOULES**  
APN 047-208-100  
EL GRANADA, CA 94018

**TITLE:**  
COVER SHEET

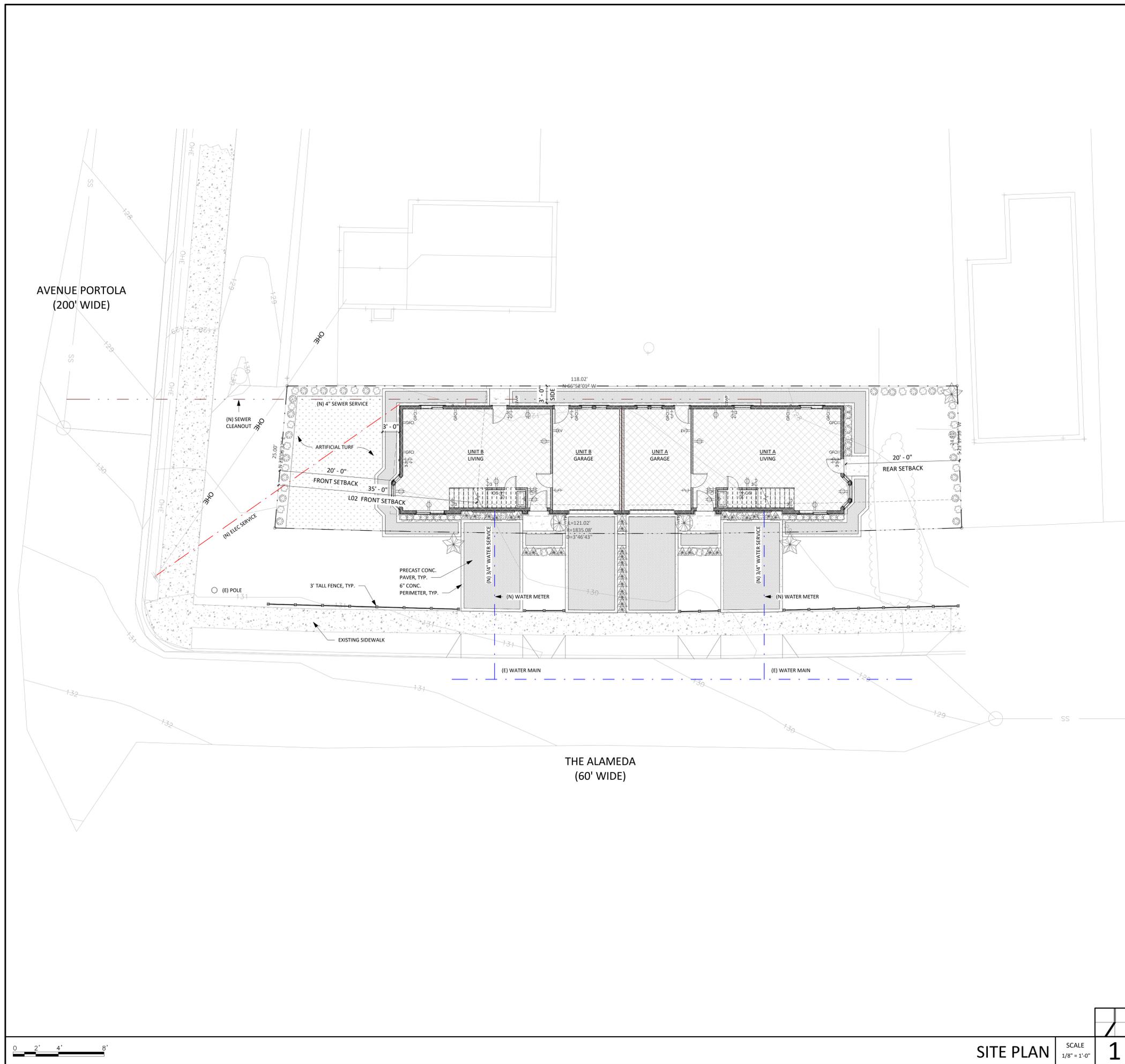
**ISSUES:**  
Project Issue Date: 03/25/19  
Project Status: SCHEMATIC DESIGN  
Sheet Issue Date: 11/28/17  
Revision Number:  
Revision Date:

### ARCHITECT'S APPROVAL:

THIS PROJECT IS NOT APPROVED FOR CONSTRUCTION UNLESS THE DRAWINGS ARE STAMPED AND WET SIGNED BY THE ARCHITECT AND LOCAL BUILDING AUTHORITY HAVING JURISDICTION OVER THE PROJECT.

**SHEET:**  
**A0.11**

SHEET: 1 OF 20 SHEETS



**PROJECT BUILDING AREA**

UNCONDITIONED AREA:	EXISTING AREA	NEW AREA	TOTAL AREA
UNIT A - LEVEL 1 - GARAGE	0 SF	231 SF	231 SF
UNIT B - LEVEL 1 - GARAGE	0 SF	231 SF	231 SF
	0 SF	0 SF	0 SF
	0 SF	0 SF	0 SF
	0 SF	0 SF	0 SF
	0 SF	0 SF	0 SF
<b>TOTAL UNCONDITIONED AREA:</b>	<b>0 SF</b>	<b>462 SF</b>	<b>462 SF</b>
CONDITIONED AREA:	EXISTING AREA	NEW AREA	TOTAL AREA
UNIT A - LEVEL 1 - LIVING AREA	0 SF	501 SF	501 SF
UNIT A - LEVEL 2 - LIVING AREA	0 SF	701 SF	701 SF
UNIT B - LEVEL 1 - LIVING AREA	0 SF	501 SF	501 SF
UNIT B - LEVEL 2 - LIVING AREA	0 SF	701 SF	701 SF
	0 SF	0 SF	0 SF
	0 SF	0 SF	0 SF
<b>TOTAL CONDITIONED AREA:</b>	<b>0 SF</b>	<b>2404 SF</b>	<b>2404 SF</b>
<b>TOTAL BUILDING AREA:</b>	<b>0 SF</b>	<b>2866 SF</b>	<b>2866 SF</b>
STRUCTURE LOT COVERAGE:	0 SF	1464 SF	1464 SF
	0%	44.49 %	44.49 %
PAVING LOT COVERAGE: (PAVERS)	0 SF	882 SF	882 SF
	0%	2.68 %	2.68 %
LANDSCAPE LOT COVERAGE:	0 SF	365 SF	365 SF
	0%	1.10 %	1.10 %
WALKWAYS/OTHER COVERAGE:	0 SF	61 SF	61 SF
	0%	.18%	.18%

\* SEE SHEET 3.11 FOR SPECIFIC ROOM AREAS

**SEAN FREITAS**  
ARCHITECT

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PROJECT: 20190109

CLIENT:  
ROBERT & BERTINA MOULES  
APN 047-208-100  
EL GRANADA, CA 94018  
Tel:  
Email:

NEW PROJECT FOR:  
**BERTINA & ROBERT MOULES**  
APN 047-208-100  
EL GRANADA, CA 94018

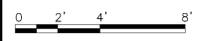
TITLE:  
SITE PLAN

ISSUES:  
Project Issue Date: 02/15/19  
Project Status: SCHEMATIC DESIGN  
Sheet Issue Date: 02/15/19  
Revision Number:  
Revision Date:

ARCHITECT'S APPROVAL:

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SHEET:  
**A2.11**  
SHEET: 3 OF 20 SHEETS



SITE PLAN SCALE 1/8" = 1'-0" **1**

### Planting Schedule

MARK	COUNT	PLANT TYPE	NAME	BOTANICAL NAME	LIGHT NEED	WATER USE
FL	35	PERENNIAL	FLAX LILY	DIANELLA REVOLUTA	PARTIAL SUN	LOW
E	4	SHRUB	ESCALLONIA	ESCALLONIA SPP. & CVS.	PARTIAL SUN	LOW
BOX	27	BOXWOOD, SHRUB	AFRICAN BOXWOOD	MYRSINE AFRICANA	PARTIAL SUN	LOW
DYH	6	SHRUB	DWARF YEDDA HAWTHORN	RHAPHIOLEPIS UMBELLATA	PARTIAL SUN	LOW
LHW	8	GROUNDCOVER, SHRUB	LOW HORIZON WESTRINGIA	WESTRINGIA FRUTICOSA	PARTIAL SUN	LOW

### LEGEND: LANDSCAPING

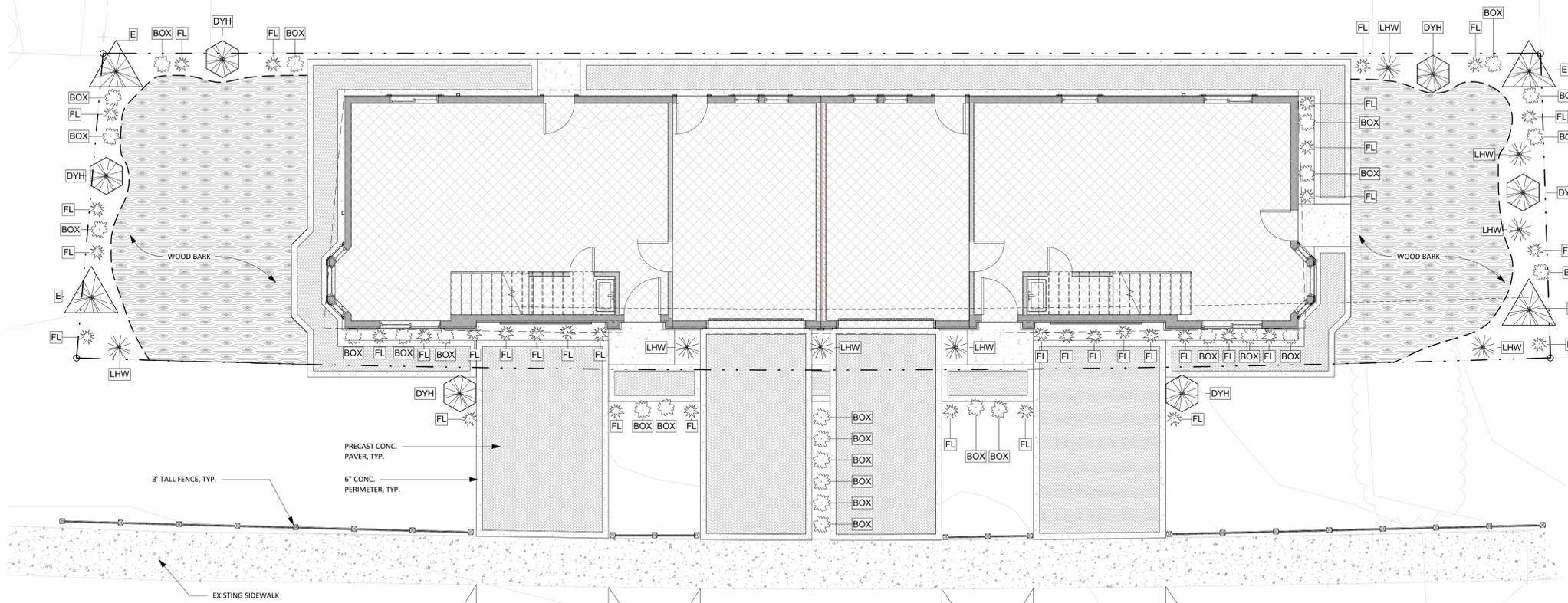
	PROPOSED PLANTING: FOR COMPLETE LIST OF PLANT TYPES, COUNTS, NAMES, BOTANICAL NAMES, LIGHTING REQUIREMENTS, AND WATER USE SEE "PLANTING SCHEDULE"
	LANDSCAPE HEADERBOARD: COMPOSITE LANDSCAPE EDGING.

### GENERAL NOTES: LANDSCAPING

- ALL SHRUB AREAS SHALL BE COMPLETELY COVERED WITH A 3" LAYER OF DECORATIVE (CONTRASTING) WALK-ON BARK. PROVIDE SAMPLE TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION.
- FIELD ADJUST TREES AS NECESSARY TO MAINTAIN THE FOLLOWING MINIMUM CLEARANCES:
  - 8 FEET CLEARANCE FROM SEWER OR WATER LINES.
  - 5 FEET CLEARANCE FROM STORM DRAIN, JOINT TRENCH AND FIRE HYDRANTS
  - 15 FEET FROM STREET LIGHTS
  - 25 FEET FROM STOP SIGNS/STOP LIGHTS.
- SEE SOIL TESTING NOTES (IF APPLICABLE) FOR SOIL AMENDMENT AND FERTILIZER RATES.
- TREES TO RECEIVE ROOTBARRIER IF PLANTED WITHIN 5' OF HARDSCAPE.
- CERTIFICATION OF COMPLETION TO BE COMPLETED BY THE CONTRACTOR FOR EACH HOUSE INSTALLED AND EXCEEDS 500 SQ.FT. OF LANDSCAPE AREA. THE CERTIFICATION OF COMPLETION TO CONTAIN THE FOLLOWING INFORMATION:
  - DATE, PROJECT NAME, PROJECT APPLICANT NAME, TELEPHONE AND MAILING ADDRESS, PROJECT ADDRESS AND LOCATION, AND PROPERTY OWNER NAME, TELEPHONE AND MAILING ADDRESS.
  - CERTIFICATION BY LICENSED LANDSCAPE CONTRACTOR WHO INSTALLED THE LANDSCAPING AND IRRIGATION. WHERE SIGNIFICANT CHANGES ARE MADE IN THE FIELD DURING CONSTRUCTION "AS-BUILT" OR RECORD DRAWINGS SHALL BE INCLUDED. A COPY OF THE IRRIGATION PLAN OR RECORD DRAWING SHALL BE PLACED WITH THE IRRIGATION CONTROLLER.
  - IRRIGATION SCHEDULING PARAMETERS USED TO SET THE CONTROLLER.
  - LANDSCAPE AND IRRIGATION MAINTENANCE SCHEDULE
  - IRRIGATION AUDIT REPORT.
  - SOILS ANALYSIS REPORT. (IF APPLICABLE)
- IRRIGATION AUDIT SHALL BE CONDUCTED BY A THIRD PARTY IRRIGATION AUDITOR. LANDSCAPE AUDITS SHALL NOT BE CONDUCTED BY THE PERSON WHO DESIGNED THE LANDSCAPE OR INSTALLED THE LANDSCAPE. THE APPLICANT SHALL SUBMIT AN IRRIGATION AUDIT REPORT WITH THE CERTIFICATE OF COMPLETION TO THE LOCAL AGENCY THAT MAY INCLUDE, BUT IS NOT LIMITED TO: INSPECTION, SYSTEM TUNE-UP, SYSTEM TEST WITH DISTRIBUTION UNIFORMITY, REPORTING OVERSPRAY OR RUN OFF THAT CAUSES OVERLAND FLOW, AND PREPARATION OF AN IRRIGATION SCHEDULE, INCLUDING CONFIGURING IRRIGATION CONTROLLERS WITH APPLICATION RATE, SOIL TYPES, PLANT FACTORS, SLOPE, EXPOSURE AND OTHER FACTORS NECESSARY FOR ACCURATE PROGRAMMING.

### GENERAL NOTES: SOIL TESTING (IF APPLICABLE)

- COORDINATE SOIL TESTING IN AN EXPEDITIOUS AND TIMELY MANNER AS REQUIRED FOR ON-SITE MATERIALS. RESPONSIBILITY OF CONTRACTING WITH A SOIL LABORATORY SHALL BE BORNE BY CONTRACTOR. COST OF SAMPLING AND TESTING SHALL BE INCLUDED IN CONTRACT PRICE. TWO (2) SAMPLES ARE REQUIRED. CONTRACTOR TO COLLECT SAMPLES IN THE PRESENCE OF OWNER'S REPRESENTATIVE. SAMPLES LOCATIONS TO BE IDENTIFIED ON PLAN.
- EACH SAMPLE SHALL BE SUBMITTED TO A LABORATORY. THE LABORATORY MUST BE APPROVED BY THE OWNER. SUBMIT SAMPLE SIZES AS REQUIRED BY LABORATORY.
- AS A MINIMUM, SOIL SAMPLES SHALL BE ANALYZED FOR: PH, SALINITY, AMMONIA, PHOSPHATE, POTASSIUM, CALCIUM, MAGNESIUM, BORON, AND SODIUM LEVELS. LABORATORY TO PROVIDE APPRAISAL OF CHEMICAL PROPERTIES, INCLUDING PARTICLE SIZE AND RECOMMENDATIONS FOR TYPES AND QUANTITIES OF AMENDMENTS AND FERTILIZERS. CONTRACTOR TO ADVISE TESTING LAB THAT THE FOLLOWING AMENDMENTS ARE TO BE INCLUDED IN RECOMMENDATIONS: GRO-POWER PLUS (MINIMUM RATE OF 150 LBS/1000 SQ.FT.) AND 90% BARK BASE PRODUCT, 1/4 INCH SIZE, TREATED WITH NITROGEN, 1/2-0-0. (MINIMUM RATE OF 4 CY PER 1000 SF.)



THE ALAMEDA  
(60' WIDE)

**SEAN FREITAS**  
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PROJECT: 20190109

NEW PROJECT FOR:  
**BERTINA & ROBERT MOULES**  
APN 047-208-100  
EL GRANADA, CA 94018



TITLE:  
LANDSCAPING PLAN

ISSUES:

Project Issue Date: 02/25/19

Project Status: SCHEMATIC DESIGN

Sheet Issue Date: 09/30/19

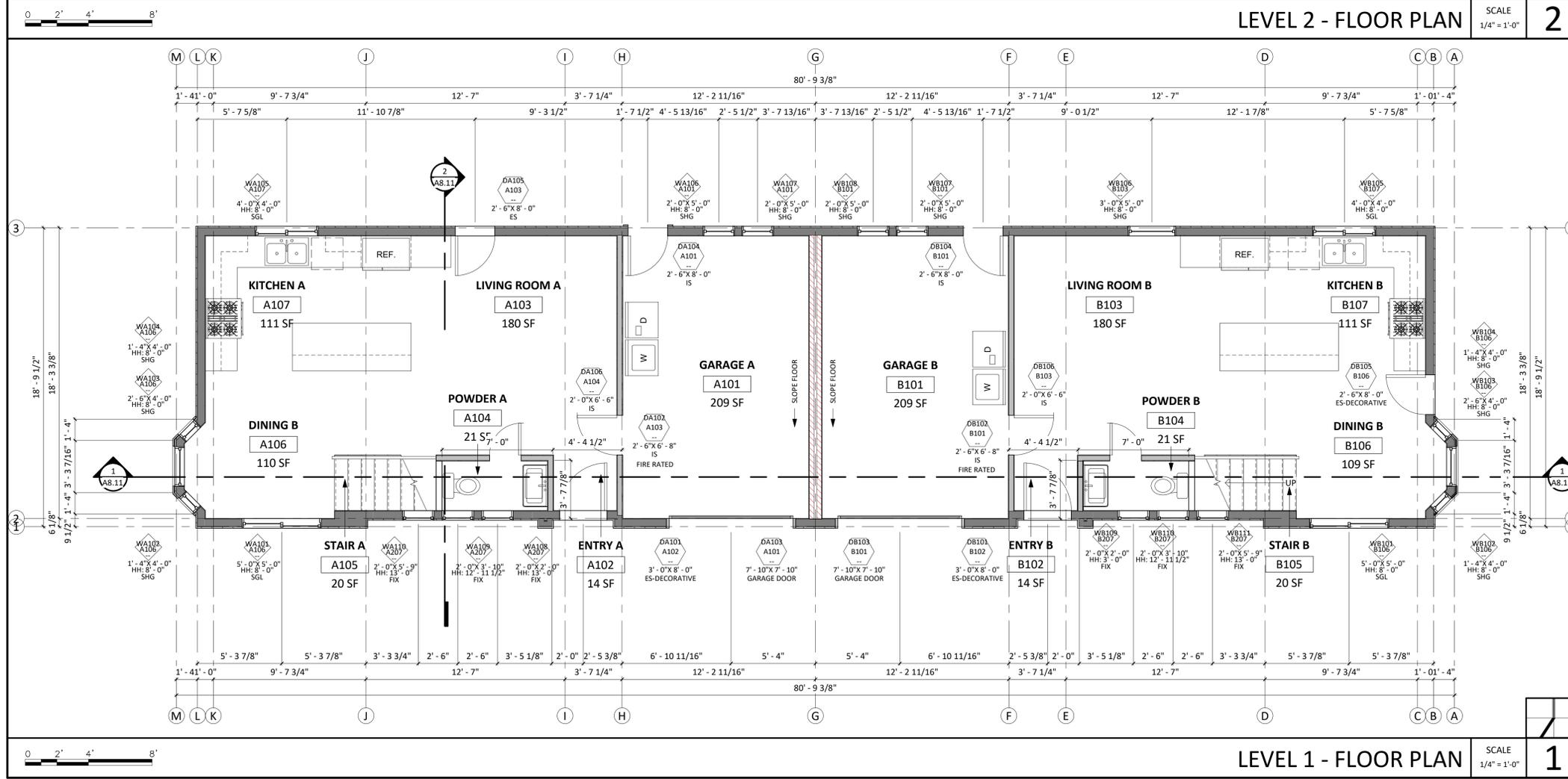
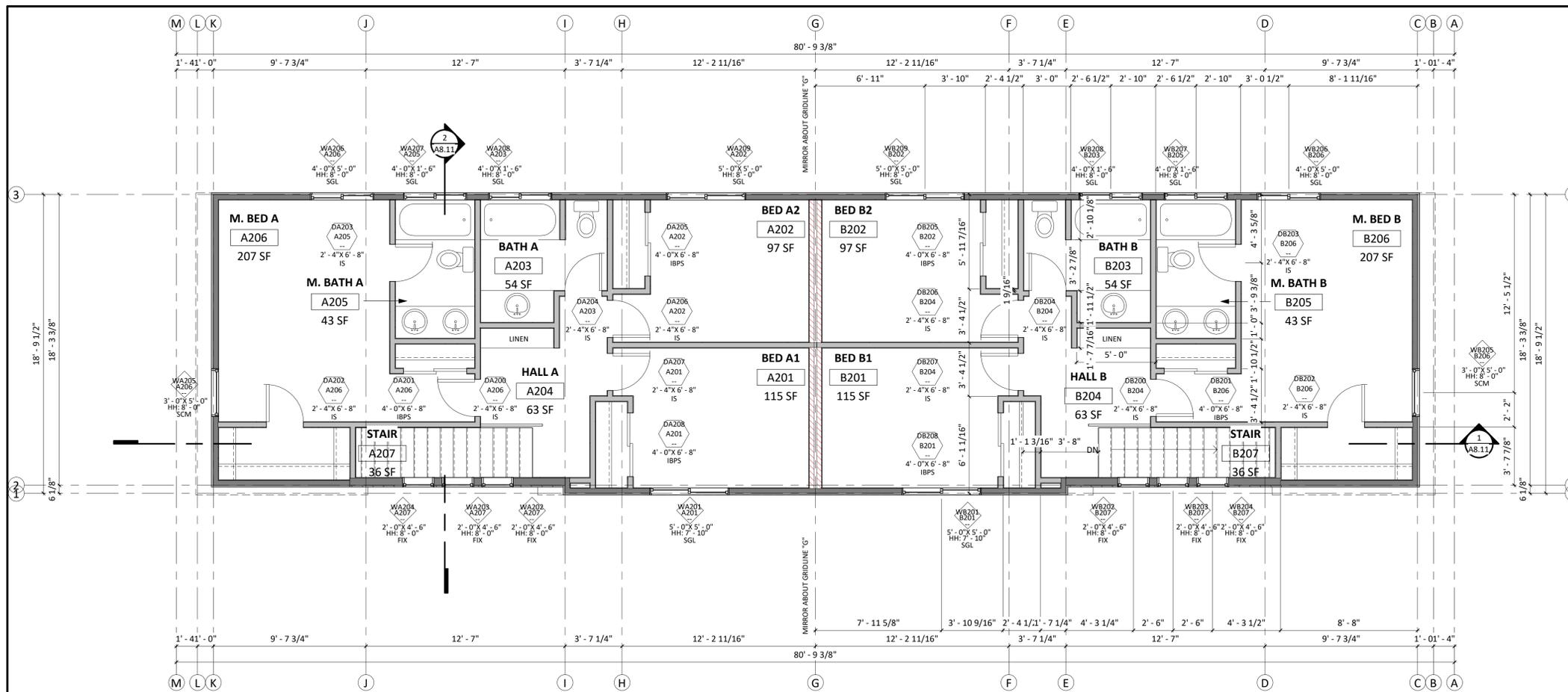
Revision Number:

Revision Date:

ARCHITECT'S APPROVAL:

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SHEET:  
**A2.12**  
OF 20 SHEETS



LEGEND: FLOOR PLAN	
(N) BED1	ROOM NAME, ROOM NUMBER, ROOM SIZE AND NET AREA: SEE FINISH SCHEDULE SHEETS FOR REMARKS, MINIMUM PLATE HEIGHT, CEILING HEIGHT, FLOOR & WALL FINISHES.
WINDOW SYMBOL	SEE WINDOW SCHEDULE SHEET. NOTE: ESCAPE OR RESCUE WINDOWS REQUIRED IN "R" OCCUPANCIES SHALL HAVE A MINIMUM NET CLEAR OPENABLE DIMENSIONS - AREA OF 5.7 S.F., HEIGHT 24," WIDTH 20," SILL HEIGHT 44" ABOVE FINISH FLOOR (TYP).
DOOR SYMBOL	SEE DOOR SCHEDULE SHEET
OPENING SYMBOL	SEE OPENING SCHEDULE SHEET
06100.WE06	NEW EXTERIOR WALL CONSTRUCTION - 2X6 D.F. STUDS @ 16" O.C. FINISH AS SPECIFIED ON FINISH SCHEDULE. INSULATE TO R-13 BATT (TYP) SEE EXTERIOR ELEVATIONS FOR LOCATION AND TYPE OF EXTERIOR FINISH.
06100.WE01	NEW EXTERIOR WALL CONSTRUCTION - 1 HOUR FIRE RATED PER CBC 705 - 2X6 D.F. STUDS @ 16" O.C. FINISH AS SPECIFIED ON FINISH SCHEDULE. INSULATE TO R-13 BATT (TYP) SEE EXTERIOR ELEVATIONS FOR LOCATION AND TYPE OF EXTERIOR FINISH.
06100.WN04	NEW INTERIOR WALL CONSTRUCTION: 2X4 D.F. STUDS @ 16" O.C. FINISH AS SPECIFIED ON FINISH SCHEDULE
06100.WN06	NEW INTERIOR WALL CONSTRUCTION: 2X6 D.F. STUDS @ 16" O.C. FINISH AS SPECIFIED ON FINISH SCHEDULE
08500.DR01	DOORS-1: SEE SCHEDULE COLOR: AS SELECTED BY OWNER- CAULK ALL EXTERIOR JOINTS (TYP). SEE WINDOW/DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE.
08500.WD01	WINDOWS-1: SEE SCHEDULE COLOR: AS SELECTED BY OWNER- CAULK ALL EXTERIOR JOINTS (TYP). SEE WINDOW/DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE.
15410.TL01	(N) WATER CLOSET: TO BE SELECTED BY OWNER
15410.SH01	(N) SHOWER ENCLOSURE: TO BE SELECTED BY OWNER
15410.LV01	(N) LAVATORY: TO BE SELECTED BY OWNER
11451.HD01	(N) CABINETS: TO BE SELECTED BY OWNER (N) COUNTER TOPS: TO BE SELECTED BY OWNER (N) BACKSPASHES: TO BE SELECTED BY OWNER
03300.ECP1	(N) EXT CONCRETE PAD-1: LENGTH TO MATCH DOOR X 30" MIN. DEPTH X 4" THICK CONCRETE PAD (MIN) @ ALL EXTERIOR DOORWAYS AND GRADE MOUNTED MECHANICAL EQUIPMENT. SLOPE PAD 1/4"=12" AWAY FROM BUILDING EDGE. PROVIDE 8" MAXIMUM STEP FOR IN-SWINGING DOORS AND 1" MAXIMUM FOR EXTERIOR SWINGING DOORS BETWEEN TOP OF PAD AND THRESHOLD (TYP).
11451.RG01	(N) RANGE: AS SELECTED BY OWNER
11451.RF01	(N) REFRIGERATOR: AS SELECTED BY OWNER
11451.DW01	(N) DISHWASHER: AS SELECTED BY OWNER
11451.MW01	(N) SINK: AS SELECTED BY OWNER

**SEAN FREITAS ARCHITECT**

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PROJECT: 20190109

CLIENT: ROBERTA & BERTINA MOULES  
APN 047-208-100  
EL GRANADA, CA 94018  
Tel: Email:

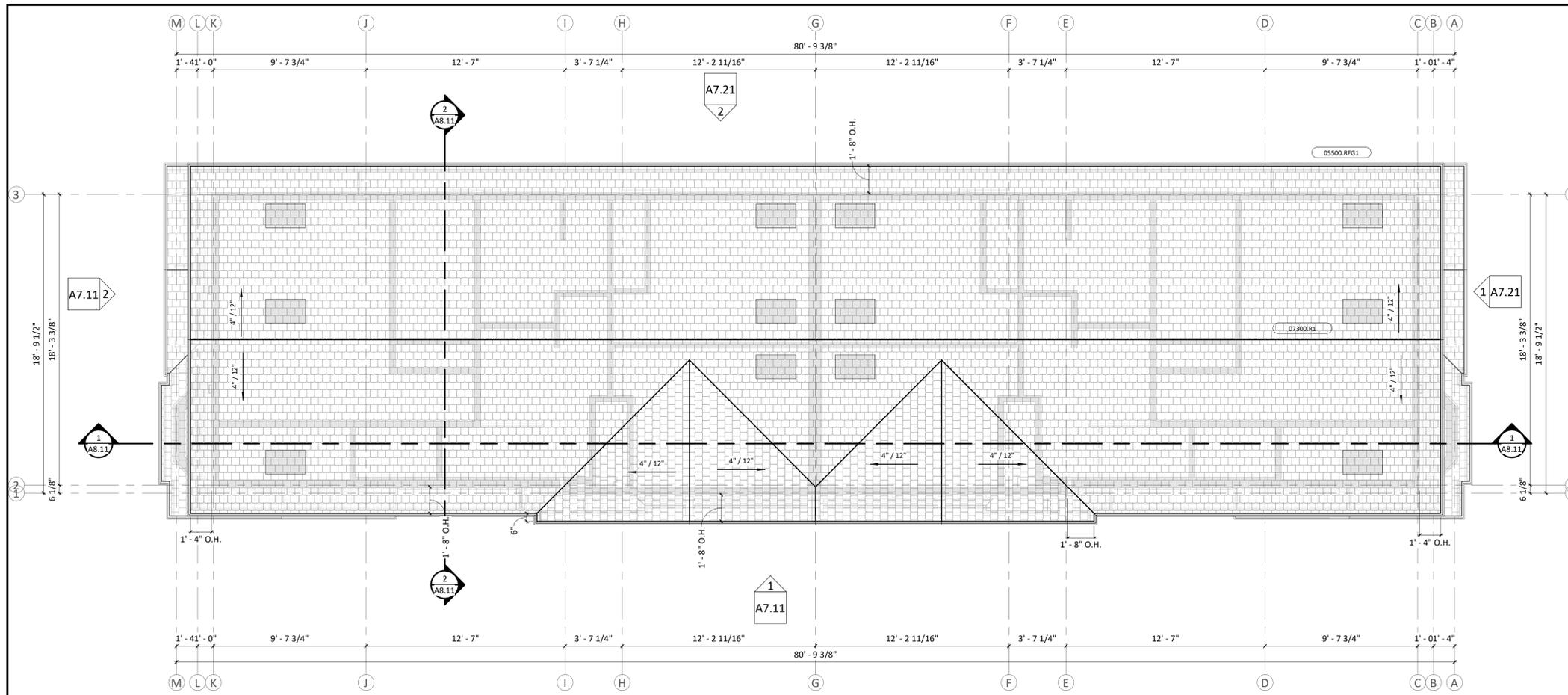
**NEW PROJECT FOR:**  
**BERTINA & ROBERT MOULES**  
APN 047-208-100  
EL GRANADA, CA 94018

**TITLE:** FLOOR PLANS  
**ISSUES:**  
Project Issue Date: 02/15/19  
Project Issue Date: SCHEMATIC DESIGN  
Sheet Issue Date: 02/15/19  
Revision Number:  
Revision Date:

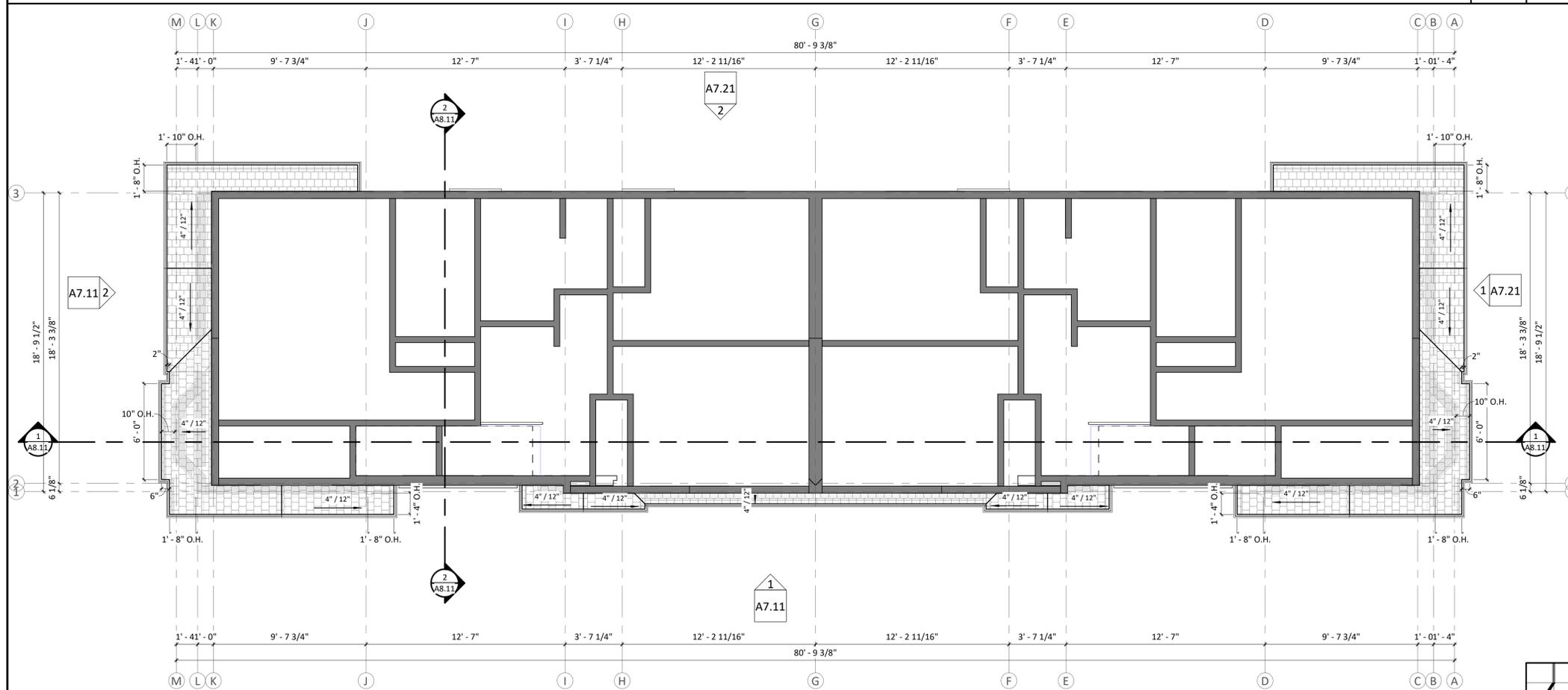
**ARCHITECT'S APPROVAL:**

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**SHEET:**  
**A3.11**  
SHEET: 4 OF 20 SHEETS



ROOF PLAN - LEVEL 2 (UPPER ROOF) SCALE 1/4" = 1'-0" 1



ROOF PLAN - LEVEL 1 (LOWER ROOF) SCALE 1/4" = 1'-0" 2

**LEGEND: ROOF PLAN**

07300.R1 ROOFING ASPHALT SHINGLES-1. CLASS "A" ASPHALT COMPOSITION ROOFING OVER 2 LAYERS 3/8 LB FELT AND PLYWOOD SHEATHING. TYP. COLOR AND STYLE TBD.

05500.RFG1 ROOF FASCIA GUTTER-1. 5" HIGH X 4" DEEP .X26 GA METAL FASCIA. GUTTER PAINT 3-COAT. COLOR AND STYLE AS SELECTED BY OWNER. PROVIDE DOWNSPOUT AT EACH END OF GUTTER RUN UNLESS GUTTER TOTAL LINEAR LENGTH IS LESS THAN 15'-0" TYP. U.N.O.

05500.RFG1 ROOF VENT-1. O'HAGIN VENTILATION; 72 SQ. IN. TAPERED LOW PROFILE. COLOR AND STYLE TO MATCH ROOFING TILE.

**ATTIC VENTILATION CALCULATION**

1402 S.F. ATTIC AREA / 300 = 4.68 NFVA \* 144 = 673 S.I. NFVA

-USE TWELVE (12) O'HAGIN ROOF VENTS (72 SQ. IN. NFVA EACH) LOCATED IN VIEW. 6 HIGH & 6 LOW.

**TRUSS SYSTEM NOTE:**

IF IT IS ELECTED THAT ROOF FRAMING IS A PREMANUFACTURED TRUSS SYSTEM, TRUSS MANUFACTURER AND CONTRACTOR SHALL VERIFY ALL JOB CONDITIONS AND DIMENSIONS BEFORE BUILDING TRUSSES AND INSTALLING.

SEAN FREITAS, ARCHITECT LIMITS ITS RESPONSIBILITY TO INFORMATION REPRESENTED THEREIN AND THE INTENDED USE THEREOF AND ASSUMES NO RESPONSIBILITY FOR ACTUAL AS-BUILT CONDITIONS AND ACTUAL DIMENSIONS AS USED BY THE TRUSS MANUFACTURER.

**ADDITIONAL ROOF NOTES:**

- ALL OPENINGS PERTAINING TO ATTIC VENTILATION SHALL BE COVERED IN 1/8" CORROSION RESISTANT, NON-COMBUSTIBLE METAL MESH. SEC. R806.2, CRC. U.N.O.
- WHERE VALLEY FLASHING IS INSTALLED, ROOF VALLEYS SHALL BE NO. 26 GAUGE GALVANIZED SHEET METAL OVER MINIMUM 72 LB. CAP SHEET. SEC. R327.5, CRC.
- ROOF GUTTERS SHALL BE PROVIDED WITH A MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS. SEC. R327.5, CRC.
- ROOF COVERING, WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING, THE SPACES SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS, BE FIRESTOPPED WITH APPROVED MATERIALS OR HAVE ONE LAYER OF NO. 72 ASTM CAP SHEET INSTALLED OVER THE COMBUSTIBLE DECKING.
- VENT AND ROOF STACKS SHALL PROJECT THE MINIMUM DISTANCE REQUIRED BY CODE. PAINT VENTS AND STACKS TO MATCH ROOF MATERIAL COLORS. LOCATED IN AREA LEAST VISIBLE FROM STREET AND CONCEAL IN DORMER VENTS WHENEVER POSSIBLE.
- ALL VENTS AND ROOF STACKS TO HAVE RAIN PROTECTION CAPS WHERE POSSIBLE.

**SEAN FREITAS**  
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PROJECT: 20190109

CLIENT:  
ROBERT & BERTINA MOULES  
APN 047-208-100  
EL GRANADA, CA 94018  
Tel:  
Email:

NEW PROJECT FOR:  
**BERTINA & ROBERT MOULES**  
APN 047-208-100  
EL GRANADA, CA 94018

TITLE:  
ROOF PLAN

ISSUES:  
Project Issue Date: 03/25/19  
Project Status: SCHEMATIC DESIGN  
Sheet Issue Date: 11/28/17  
Revision Number:  
Revision Date:

ARCHITECT'S APPROVAL:

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SHEET:  
**A3.31**  
SHEET: 7 OF 20 SHEETS

# PROJECT DOORS

## OPENING SCHEDULE LEGEND

OPENING SHAPE LEGEND:	
AR	ARCHED
HR	HALF-ROUND
RC	RECTANGULAR
OV	OVAL

## DOOR SCHEDULE LEGEND

DOOR HARDWARE GROUP LEGEND:		GLAZING LEGEND:		DOOR TYPE LEGEND:	
HW23	(3) HINGE SETS (1) PRIVACY LOCKSET	SG	SINGLE GLAZED	EOC	EXT-OPENING-CASED
HW24	(6) HINGE SETS (1) PRIVACY LOCKSET (2) DOOR STOPS (1) STRIKE PIN SET	HW11	(4) HINGE SETS (1) ENTRY LEVER LOCKSET (1) DEADBOLT (1) DOOR STOP (1) THRESHOLD ADA (1) WEATHERSTRIP	EP	EXT-PAIR
		HW12	(8) HINGE SETS (1) ENTRY LOCKSET (1) DEADBOLT (2) DOOR STOPS (1) THRESHOLD (1) WEATHERSTRIP (1) STRIKE PIN SET	EP6P	EXT-PAIR-6-PANEL
HW31	(4) HINGE SETS (1) LATCHSET (1) DOOR STOP	HW13	(1) SLIDER LOCKSET (2) DOOR STOPS (1) THRESHOLD (1) WEATHERSTRIP	EPBFL	EXT-PAIR-BIFOLD-FULL-LITE
				EPFL	EXT-PAIR-FULL-LITE
HW32	(8) HINGE SETS (1) LATCHSET (2) DOOR STOPS (1) STRIKE PIN SET	HW14	(1) LATCHSET (1) THRESHOLD (1) WEATHERSTRIP	EPFLA	EXT-PAIR-FULL-LITE-ARCHED
				ES	EXT-SINGLE
HW33	(3) HINGE SETS (1) LATCHSET (1) DOOR STOP	HW15	(4) HINGE SETS (1) PRIVACY LOCKSET (1) DOOR STOP	ES6P	EXT-SINGLE-6-PANEL
				ESA	EXT-SINGLE-ARCHED
HW34	(6) HINGE SETS (1) LATCHSET (2) DOOR STOPS (1) STRIKE PIN SET	HW16	(8) HINGE SETS (1) PRIVACY LOCKSET (2) DOOR STOPS (1) STRIKE PIN SET	ESFL	EXT-SINGLE-FULL-LITE
				ESFLA	EXT-SINGLE-FULL-LITE-ARCHED
		DOOR FRAME TYPE LEGEND:			
		WD	WOOD: PAINT GRADE	ESHL	EXT-SINGLE-HALF-LITE
		SOV	SOLID VINYL	ESDS	EXT-SLIDING DOOR SYSTEM
		VCW	VINYL CLAD WOOD	EXOSFL	EXT-XO-SINGLE-FULL-LITE
		ACW	ALUMINUM CLAD WOOD	ESPL	EXT-SINGLE-PARTIAL-LITE
		MANF	PER MANUFACTURER	FS	EXT-FRENCH-SINGLE
		AL	ANODIZED ALUMINUM	FD	EXT-FRENCH-DOUBLE
		FGW	FIBERGLASS	FDA	EXT-FRENCH-DOUBLE-ARCHED
		DOOR/FRAME FINISH LEGEND:			
		O (AS SELECTED BY OWNER)			
				IBPS	INT-BYPASS-SLIDING
				IP	INT-PAIR
				IP3P	INT-PAIR-3-PANEL
				IP6P	INT-PAIR-6-PANEL
				IS	INT-SINGLE
				ISFL	INT-SINGLE-FULL LIGHT
				IS2P	INT-SINGLE-2-PANEL
				IS6PP	INT-SINGLE-6-PANEL-POCKET
				ISP	INT-SINGLE-POCKET
				RU15P	ROLL-UP-15-PANEL
				RU20P	ROLL-UP-20-PANEL
				RU20PA	ROLL-UP-15-PANEL-ARCHED
				RU15PA	ROLL-UP-20-PANEL-ARCHED

## DOOR SCHEDULE

DOOR NO.	ROOM NO.	DOOR			FRAME		DETAILS			LISTING	HARDWARE	NOTES
		WIDTH	HEIGHT	THICK	MAT	GLAZING	TYPE	MAT	HEAD			
A101	A102	3' - 0"	8' - 0"	2"	WOOD	--	ES-DECORATIVE	--	--	--	--	
A102	A103	2' - 6"	6' - 8"	2"	WOOD	--	IS	--	--	--	--	FIRE
A103	A101	7' - 10"	7' - 10"	2"	AL	TEMP	GARAGE DOOR	--	--	--	--	
A104	A101	2' - 6"	8' - 0"	2"	WOOD	--	IS	--	--	--	--	
A105	A103	2' - 6"	8' - 0"	2"	WOOD	--	ES	--	--	--	--	
A106	A104	2' - 0"	6' - 6"	2"	WOOD	--	IS	--	--	--	--	
A200	A206	2' - 4"	6' - 8"	2"	WOOD	--	IS	--	--	--	--	
A201	A206	4' - 0"	6' - 8"	2"	WOOD	--	IBPS	--	--	--	--	
A202	A206	2' - 4"	6' - 8"	2"	WOOD	--	IS	--	--	--	--	
A203	A205	2' - 4"	6' - 8"	2"	WOOD	--	IS	--	--	--	--	
A204	A203	2' - 4"	6' - 8"	2"	WOOD	--	IS	--	--	--	--	
A205	A202	4' - 0"	6' - 8"	2"	WOOD	--	IBPS	--	--	--	--	
A206	A202	2' - 4"	6' - 8"	2"	WOOD	--	IS	--	--	--	--	
A207	A201	2' - 4"	6' - 8"	2"	WOOD	--	IS	--	--	--	--	
A208	A201	4' - 0"	6' - 8"	2"	WOOD	--	IBPS	--	--	--	--	
B101	B102	3' - 0"	8' - 0"	2"	WOOD	--	ES-DECORATIVE	--	--	--	--	
B102	B101	2' - 6"	6' - 8"	2"	WOOD	--	IS	--	--	--	--	FIRE
B103	B101	7' - 10"	7' - 10"	2"	AL	TEMP	GARAGE DOOR	--	--	--	--	
B104	B101	2' - 6"	8' - 0"	2"	WOOD	--	IS	--	--	--	--	
B105	B106	2' - 6"	8' - 0"	2"	WOOD	--	ES-DECORATIVE	--	--	--	--	
B106	B103	2' - 0"	6' - 6"	2"	WOOD	--	IS	--	--	--	--	
B200	B204	2' - 4"	6' - 8"	2"	WOOD	--	IS	--	--	--	--	
B201	B206	4' - 0"	6' - 8"	2"	WOOD	--	IBPS	--	--	--	--	
B202	B206	2' - 4"	6' - 8"	2"	WOOD	--	IS	--	--	--	--	
B203	B206	2' - 4"	6' - 8"	2"	WOOD	--	IS	--	--	--	--	
B204	B204	2' - 4"	6' - 8"	2"	WOOD	--	IS	--	--	--	--	
B205	B202	4' - 0"	6' - 8"	2"	WOOD	--	IBPS	--	--	--	--	
B206	B204	2' - 4"	6' - 8"	2"	WOOD	--	IS	--	--	--	--	
B207	B204	2' - 4"	6' - 8"	2"	WOOD	--	IS	--	--	--	--	
B208	B201	4' - 0"	6' - 8"	2"	WOOD	--	IBPS	--	--	--	--	

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PROJECT: 20190109

CLIENT: ROBERT & BERTINA MOULES  
APN 007-208-00  
EL GRANADA, CA 94018  
Tel: Email:

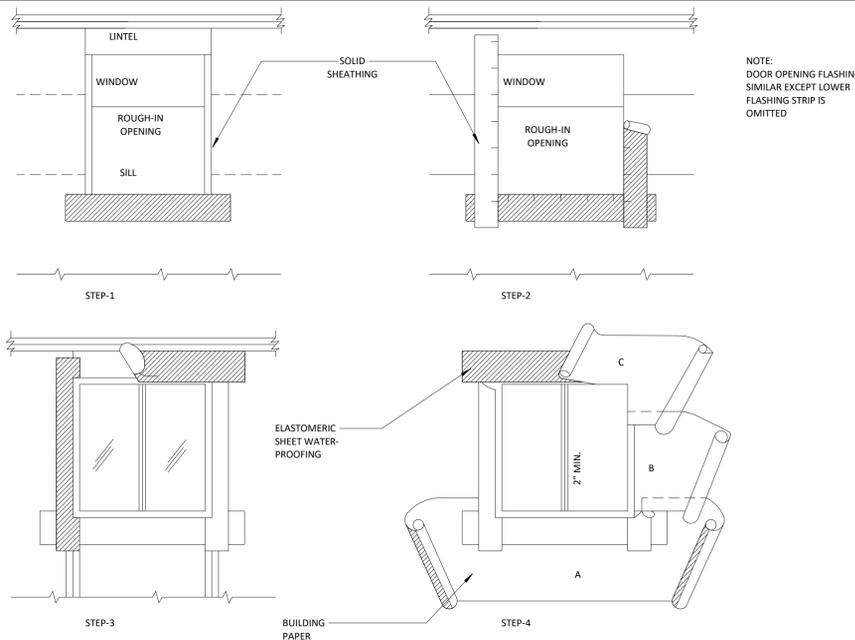
# PROJECT WINDOWS

## WINDOW SCHEDULE LEGEND

WINDOW FRAME LEGEND:		WINDOW TYPE LEGEND:	
SOV	SOLID VINYL	SCM	SINGLE-CASEMENT
VCW	VINYL CLAD WOOD	DCM	DOUBLE-CASEMENT
ACW	ALUMINUM CLAD WOOD	SCM-A	SINGLE-CASEMENT-ARCHED
SFW	STEEL FRAME	ADCM	DOUBLE-CASEMENT-ARCHED
FGW	FIBERGLASS FRAME	FIX	FIXED-PANEL
ALW	ALUMINUM FRAME	FIX-A	FIXED-ARCHED
		FIX-HR	FIXED-HALF-ROUND
		FIX-ELP	FIXED-ELLIPSE-PANEL
		FIX-RND	FIXED-ROUND-PANEL
		SGL	SINGLE-GLIDER
		DGL	DUAL-GLIDER
		SGL-A	SINGLE-GLIDER-ARCHED
		DGL-A	DUAL-GLIDER-ARCHED
		SHG	SINGLE HUNG
		DHG	DOUBLE HUNG
		LVR-P	LOUVERED-PANEL
		GLAZING LEGEND:	
SG	SINGLE GLAZED		
DG	DUAL GLAZED		
LE	LOW "E"		
TEMP	TEMPERED GLASS		
LAM	LAMINATED SAFETY GLASS		
OBS	OBSCURED		

## WINDOW SCHEDULE

WINDOW NO.	ROOM NUMBER	WINDOW (VERIFY ROUGH OPENING W/ MANF)		GLAZING	WINDOW (VERIFY ROUGH OPENING W/ MANF)		DETAILS			NOTES
		WIDTH	HEIGHT		FRAME	TYPE	HEAD	JAMB	SILL	
A101	A106	5' - 0"	5' - 0"	--		SGL				8' - 0"
A102	A106	1' - 4"	4' - 0"	--		SHG				8' - 0"
A103	A106	2' - 6"	4' - 0"	--		SHG				8' - 0"
A104	A106	1' - 4"	4' - 0"	--		SHG				8' - 0"
A105	A107	4' - 0"	4' - 0"	--		SGL				8' - 0"
A106	A101	2' - 0"	5' - 0"	--		SHG				8' - 0"
A107	A101	2' - 0"	5' - 0"	--		SHG				8' - 0"
A108	A207	2' - 0"	2' - 0"	--		FIX				13' - 0"
A109	A207	2' - 0"	3' - 10"	--		FIX				12' - 11 1/2"
A110	A207	2' - 0"	5' - 9"	--		FIX				13' - 0"
A201	A201	5' - 0"	5' - 0"	--		SGL				7' - 10"
A202	A207	2' - 0"	4' - 6"	--		FIX				8' - 0"
A203	A207	2' - 0"	4' - 6"	--		FIX				8' - 0"
A204	A207	2' - 0"	4' - 6"	--		FIX				8' - 0"
A205	A206	3' - 0"	5' - 0"	--		SCM				8' - 0"
A206	A206	4' - 0"	5' - 0"	--		SGL				8' - 0"
A207	A205	4' - 0"	1' - 6"	--		SGL				8' - 0"
A208	A203	4' - 0"	1' - 6"	--		SGL				8' - 0"
A209	A202	5' - 0"	5' - 0"	--		SGL				8' - 0"
B101	B106	5' - 0"	5' - 0"	--		SGL				8' - 0"
B102	B106	1' - 4"	4' - 0"	--		SHG				8' - 0"
B103	B106	2' - 6"	4' - 0"	--		SHG				8' - 0"
B104	B106	1' - 4"	4' - 0"	--		SHG				8' - 0"
B105	B107	4' - 0"	4' - 0"	--		SGL				8' - 0"
B106	B103	3' - 0"	5' - 0"	--		SHG				8' - 0"
B107	B101	2' - 0"	5' - 0"	--		SHG				8' - 0"
B108	B101	2' - 0"	5' - 0"	--		SHG				8' - 0"
B109	B207	2' - 0"	2' - 0"	--		FIX				3' - 0"
B110	B207	2' - 0"	3' - 10"	--		FIX				12' - 11 1/2"
B111	B207	2' - 0"	5' - 9"	--		FIX				13' - 0"
B201	B201	5' - 0"	5' - 0"	--		SGL				7' - 10"
B202	B207	2' - 0"	4' - 6"	--		FIX				8' - 0"
B203	B207	2' - 0"	4' - 6"	--		FIX				8' - 0"
B204	B207	2' - 0"	4' - 6"	--		FIX				8' - 0"
B205	B206	3' - 0"	5' - 0"	--		SCM				8' - 0"
B206	B206	4' - 0"	5' - 0"	--		SGL				8' - 0"
B207	B205	4' - 0"	1' - 6"	--		SGL				8' - 0"
B208	B203	4' - 0"	1' - 6"	--		SGL				8' - 0"
B209	B202	5' - 0"	5' - 0"	--		SGL				8' - 0"



NEW PROJECT FOR:  
**BERTINA & ROBERT MOULES**  
APN 047-208-100  
EL GRANADA, CA 94018

TITLE: SCHEDULES  
ISSUES:  
Project Issue Date: 02/25/19  
Project Status: SCHEMATIC DESIGN  
Sheet Issue Date: 11/28/17  
Revision Number:  
Revision Date:

ARCHITECT'S APPROVAL:

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SHEET:

**A4.11**

SHEET: 8 OF 20 SHEETS

# ROOM FINISHES

## ROOM FINISH SCHEDULE LEGEND

FLOORING FINISH LEGEND:		BASE/CROWN FINISH LEGEND:		WALL AND CEILING FINISH LEGEND:	
CR	CARPET (AS SELECTED BY OWNER) (AS SELECTED BY OWNER)	CT	4" HIGH CERAMIC TILE (AS SELECTED BY OWNER)	GB	1/2" THICK GYPSUM BOARD; IMPERFECT SMOOTH TEXTURE FINISH, PRIME AND 2-COAT PAINT (TYP).
CT	CERAMIC TILE (AS SELECTED BY OWNER)	HW	7" HIGH DECORATIVE WOOD (AS SELECTED BY OWNER)	CRG	1/2" THICK MOISTURE RESISTANT GYPSUM BOARD; TAPE, MOISTURE BARRIER, MORTAR BASE AND CERAMIC TILE FINISH.
CN	CONCRETE WITH SMOOTH FINISH	MDF	6" HIGH MDF BASE BOARD (AS SELECTED BY OWNER)	SRG	1/2" THICK MOISTURE RESISTANT GYPSUM BOARD; TAPE, MOISTURE BARRIER, MORTAR BASE AND STONE TILE FINISH.
HW	DECORATIVE WOOD (AS SELECTED BY OWNER)	ST	6" HIGH STONE TILE (AS SELECTED BY OWNER)	XGB	ONE HOUR SEPARATION: WALL TO HAVE (1) LAYER AND CEILINGS TO HAVE (2) LAYERS OF 5/8" TYPE "X" GYPSUM BOARD.
ST	STONE TILE (AS SELECTED BY OWNER)	SV	4" HIGH INTERGRAL SHEET VINYL COVE (AS SELECTED BY OWNER)	P	PAINT (3-COAT) WALL SURFACE.
ST2	STONE TILE (SHOWER AREA, AS SELECTED BY OWNER) OVER MOISTURE BARRIER, CEMENT BACKER BOARD.	CM6	6" HIGH MDF CROWN MOULDING (AS SELECTED BY OWNER)	EXT	EXTERIOR WALL/CEILING FINISH - SEE EXTERIOR ELEVATIONS
SV	SHEET VINYL (AS SELECTED BY OWNER)				
SC	STAINED/TEXTURED CONCRETE (AS SELECTED BY OWNER)				

## ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR FINISH	BASE	WALLS				CEILING		ROOM SIZE		NET AREA	REMARKS
				NORTH	EAST	SOUTH	WEST	MAT	HEIGHT	WIDTH	LENGTH		
A101	GARAGE A	CN	--	GYP	GYP	GYP	GYP	GYP	9'-0"			209 SF	
A102	ENTRY A	HW	MDF	GYP	GYP	GYP	GYP	GYP	9'-0"			14 SF	
A103	LIVING ROOM A	HW	MDF	GYP	GYP	GYP	GYP	GYP	9'-0"			180 SF	
A104	POWDER A	CT	MDF	GYP	GYP	GYP	GYP	XGB	9'-0"			21 SF	
A105	STAIR A	HW	MDF	GYP	GYP	GYP	GYP	GYP	9'-0"			20 SF	
A106	DINING B	HW	MDF	GYP	GYP	GYP	GYP	GYP	9'-0"			110 SF	
A107	KITCHEN A	HW	MDF	GYP	GYP	GYP	GYP	GYP	9'-0"			111 SF	
A201	BED A1	CR	MDF	GYP	GYP	GYP	GYP	GYP	9'-0"			115 SF	
A202	BED A2	CR	MDF	GYP	GYP	GYP	GYP	GYP	9'-0"			97 SF	
A203	BATH A	CT	MDF	GYP	GYP	GYP	GYP	GYP	9'-0"			54 SF	
A204	HALL A	HW	MDF	GYP	GYP	GYP	GYP	GYP	9'-0"			63 SF	
A205	M. BATH A	CT	MDF	GYP	GYP	GYP	GYP	GYP	9'-0"			43 SF	
A206	M. BED A	CR	MDF	GYP	GYP	GYP	GYP	GYP	9'-0"			207 SF	
A207	STAIR	HW	MDF	GYP	GYP	GYP	GYP	GYP	9'-0"			36 SF	
B101	GARAGE B	CN	--	GYP	GYP	GYP	GYP	GYP	9'-0"	0' - 0"	0' - 0"	209 SF	
B102	ENTRY B	HW	MDF	GYP	GYP	GYP	GYP	GYP	9'-0"			14 SF	
B103	LIVING ROOM B	HW	MDF	GYP	GYP	GYP	GYP	GYP	9'-0"			180 SF	
B104	POWDER B	CT	MDF	GYP	GYP	GYP	GYP	XGB	9'-0"			21 SF	
B105	STAIR B	HW	MDF	GYP	GYP	GYP	GYP	GYP	9'-0"			20 SF	
B106	DINING B	HW	MDF	GYP	GYP	GYP	GYP	GYP	9'-0"			109 SF	
B107	KITCHEN B	HW	MDF	GYP	GYP	GYP	GYP	GYP	9'-0"			111 SF	
B201	BED B1	CR	MDF	GYP	GYP	GYP	GYP	GYP	9'-0"			115 SF	
B202	BED B2	CR	MDF	GYP	GYP	GYP	GYP	GYP	9'-0"			97 SF	
B203	BATH B	CT	MDF	GYP	GYP	GYP	GYP	GYP	9'-0"			54 SF	
B204	HALL B	HW	MDF	GYP	GYP	GYP	GYP	GYP	9'-0"			63 SF	
B205	M. BATH B	CT	MDF	GYP	GYP	GYP	GYP	GYP	9'-0"			43 SF	
B206	M. BED B	CR	MDF	GYP	GYP	GYP	GYP	GYP	9'-0"			207 SF	
B207	STAIR	HW	MDF	GYP	GYP	GYP	GYP	GYP	9'-0"			36 SF	

**SEAN  
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PROJECT: 20190109

**NEW PROJECT FOR:**  
**BERTINA & ROBERT MOULES**  
 APN 047-208-100  
 EL GRANADA, CA 94018

**TITLE:**  
SCHEDULES

**ISSUES:**

Project Issue Date:	02/25/19
Project Status:	SCHEMATIC DESIGN
Sheet Issue Date:	05/14/19
Revision Number:	
Revision Date:	

ARCHITECT'S APPROVAL:

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SHEET:  
**A4.12**  
SHEET: 04 OF 20 SHEETS

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PROJECT: 20190109

CLIENT:  
ROBERT & BERTINA MOULES  
APN 047-208-100  
EL GRANADA, CA 94018  
Tel:  
Email:

NEW PROJECT FOR:  
**BERTINA & ROBERT MOULES**  
APN 047-208-100  
EL GRANADA, CA 94018

TITLE:  
PERSPECTIVES  
ISSUES:  
Project Issue Date: 02/25/19  
Project Status: SCHEMATIC DESIGN  
Sheet Issue Date: 11/28/17  
Revision Number:  
Revision Date:

ARCHITECT'S APPROVAL:

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SHEET:  
**A7.00**  
SHEET: 9 OF 20 SHEETS



OWENS CORNING - ONYX BLACK



EVENING BLUE Accent



GARAGE DOORS, 3-COAT PAINT ARTIC WHITE



ARCTIC WHITE Trim



BOOTHBAY BLUE Main Exterior

WINDOWS, WHITE VINYL



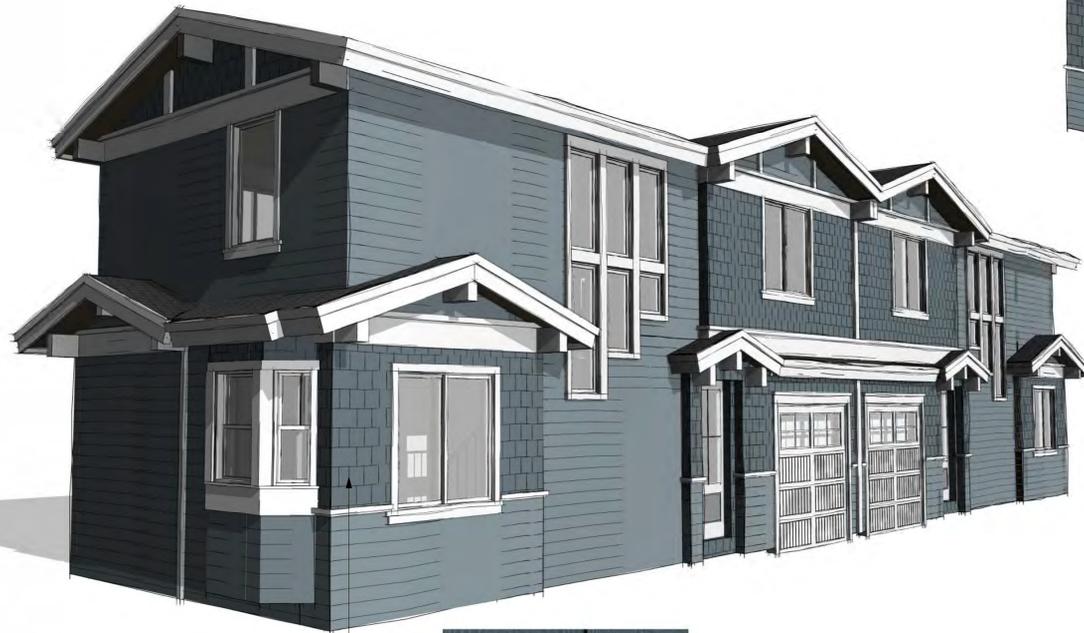
GARAGE DOORS, 3-COAT PAINT ARTIC WHITE



ARCTIC WHITE Trim



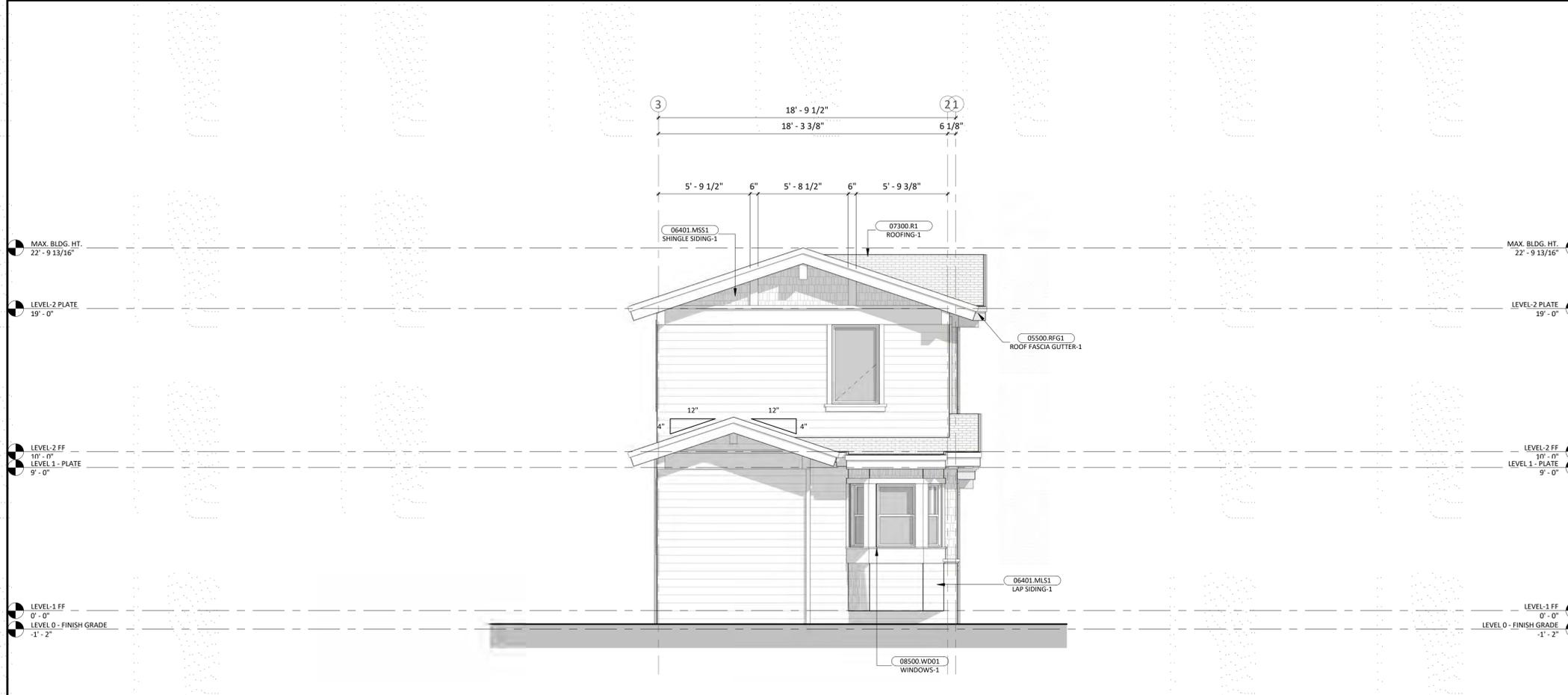
EVENING BLUE Accent



BOOTHBAY BLUE Main Exterior



0 2' 4' 8' EXTERIOR ELEVATION - SOUTH SCALE 1/4" = 1'-0" 1



0 2' 4' 8' EXTERIOR ELEVATION - WEST SCALE 1/4" = 1'-0" 2

**LEGEND: ELEVATIONS EXTERIOR**

07300.R1	ROOFING-1: ASPHALT SHINGLES (AS SELECTED BY OWNER)
05500.RFG1	ROOF FASCIA GUTTER-1: SEE ROOF PLAN
08500.WD01	WINDOWS-1: AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE WINDOW SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. 4" TRIM @ WINDOWS TYP. UNO
08500.DR01	DOORS-1: AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.
08500.ED01	ENTRY DOOR-1: AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE.
06401.MLS1	LAP SIDING-1: FIBER CEMENT HARDIE PLANK LAP SIDING "SELECT CEDARMILL" OVER 2-LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.
06401.MSS1	SHINGLE SIDING-1: FIBER CEMENT HARDIESHINGLE, "STAGGERED EDGE" SIDING OVER 2-LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.
06401.SF01	SOFFIT-1: HARDIESOFFIT PANELS, VENTED/NON-VENTED "CEDARMILL"

**GENERAL NOTES**

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**SEAN FREITAS**  
ARCHITECT

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PROJECT: 20190109

CLIENT:  
ROBERT & BERTINA MOULES  
APN 047-208-100  
EL GRANADA, CA 94018  
Tel:  
Email:

NEW PROJECT FOR:  
**BERTINA & ROBERT MOULES**  
APN 047-208-100  
EL GRANADA, CA 94018

**TITLE:**  
EXTERIOR ELEVATIONS

**ISSUES:**

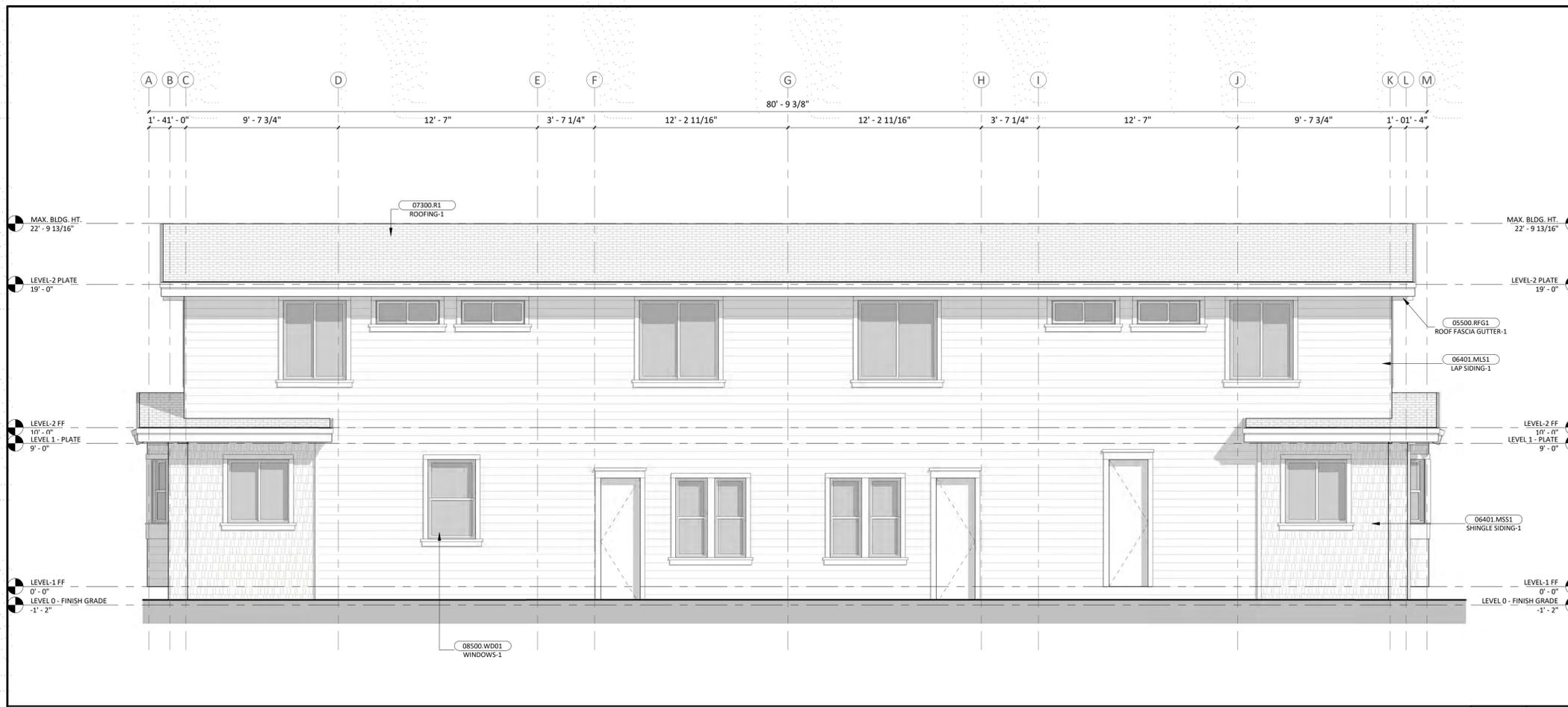
Project Issue Date:	02/25/19
Project Status:	SCHEMATIC DESIGN
Sheet Issue Date:	11/28/17
Revision Number:	
Revision Date:	

**ARCHITECT'S APPROVAL:**

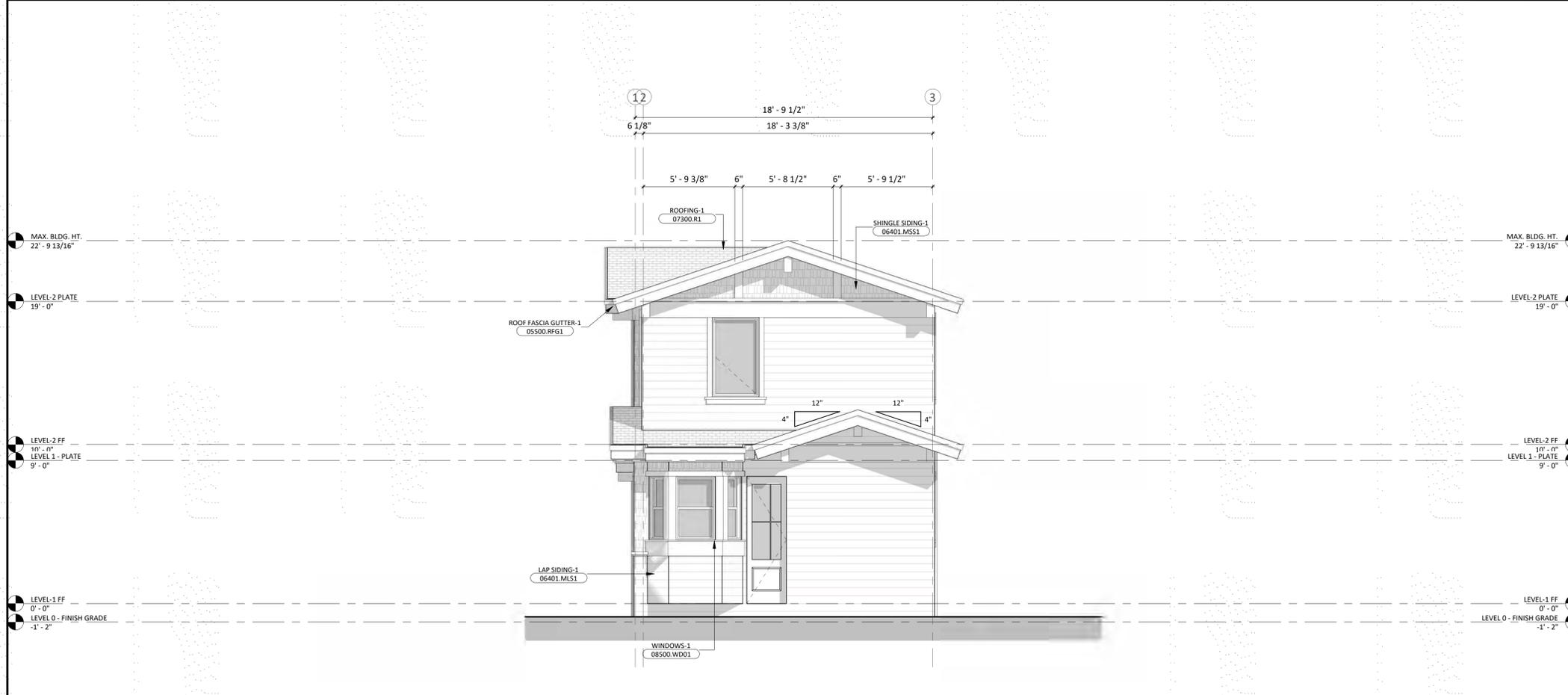
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**SHEET:**  
**A7.11**

SHEET: 11 OF 20 SHEETS



0 2' 4' 8' EXTERIOR ELEVATION - NORTH SCALE 1/4" = 1'-0" 2



0 2' 4' 8' EXTERIOR ELEVATION - EAST SCALE 1/4" = 1'-0" 1

**LEGEND: ELEVATIONS EXTERIOR**

07300.R1	ROOFING-1: ASPHALT SHINGLES (AS SELECTED BY OWNER)
05500.RFG1	ROOF FASCIA GUTTER-1: SEE ROOF PLAN
08500.WD01	WINDOWS-1: AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE WINDOW SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. 4" TRIM @ WINDOWS TYP. UNO
08500.DR01	DOORS-1: AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.
08500.ED01	ENTRY DOOR-1: AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE.
06401.MLS1	LAP SIDING-1: FIBER CEMENT HARDBOARD LAP SIDING "SELECT CEDARMILL" OVER 2-LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.
06401.MSS1	SHINGLE SIDING-1: FIBER CEMENT HARDBOARD SHINGLE, "STAGGERED EDGE" SIDING OVER 2-LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.
06401.SF01	SOFFIT-1: HARDBOARD PANELS, VENTED/NON-VENTED "CEDARMILL"

**GENERAL NOTES**

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**SEAN FREITAS**  
ARCHITECT

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PROJECT: 20190109

CLIENT:  
ROBERT & BERTINA MOULES  
APN 047-208-100  
EL GRANADA, CA 94018  
Tel:  
Email:

NEW PROJECT FOR:  
**BERTINA & ROBERT MOULES**  
APN 047-208-100  
EL GRANADA, CA 94018

**TITLE:**  
EXTERIOR ELEVATIONS

**ISSUES:**

Project Issue Date:	02/25/19
Project Status:	SCHEMATIC DESIGN
Sheet Issue Date:	11/28/17
Revision Number:	
Revision Date:	

**ARCHITECT'S APPROVAL:**

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**SHEET:**

**A7.21**

SHEET: 10 OF 20 SHEETS

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PROJECT: 20190109

CLIENT:  
ROBERT & BERTINA MOULES  
APN 007-208-100  
EL GRANADA, CA 94018  
Tel:  
Email:

NEW PROJECT FOR:  
**BERTINA & ROBERT MOULES**  
APN 047-208-100  
EL GRANADA, CA 94018

TITLE:  
SECTIONS  
ISSUES:  
Project Issue Date: 02/25/19  
Project Status: SCHEMATIC DESIGN  
Sheet Issue Date: 11/28/17  
Revision Number:  
Revision Date:

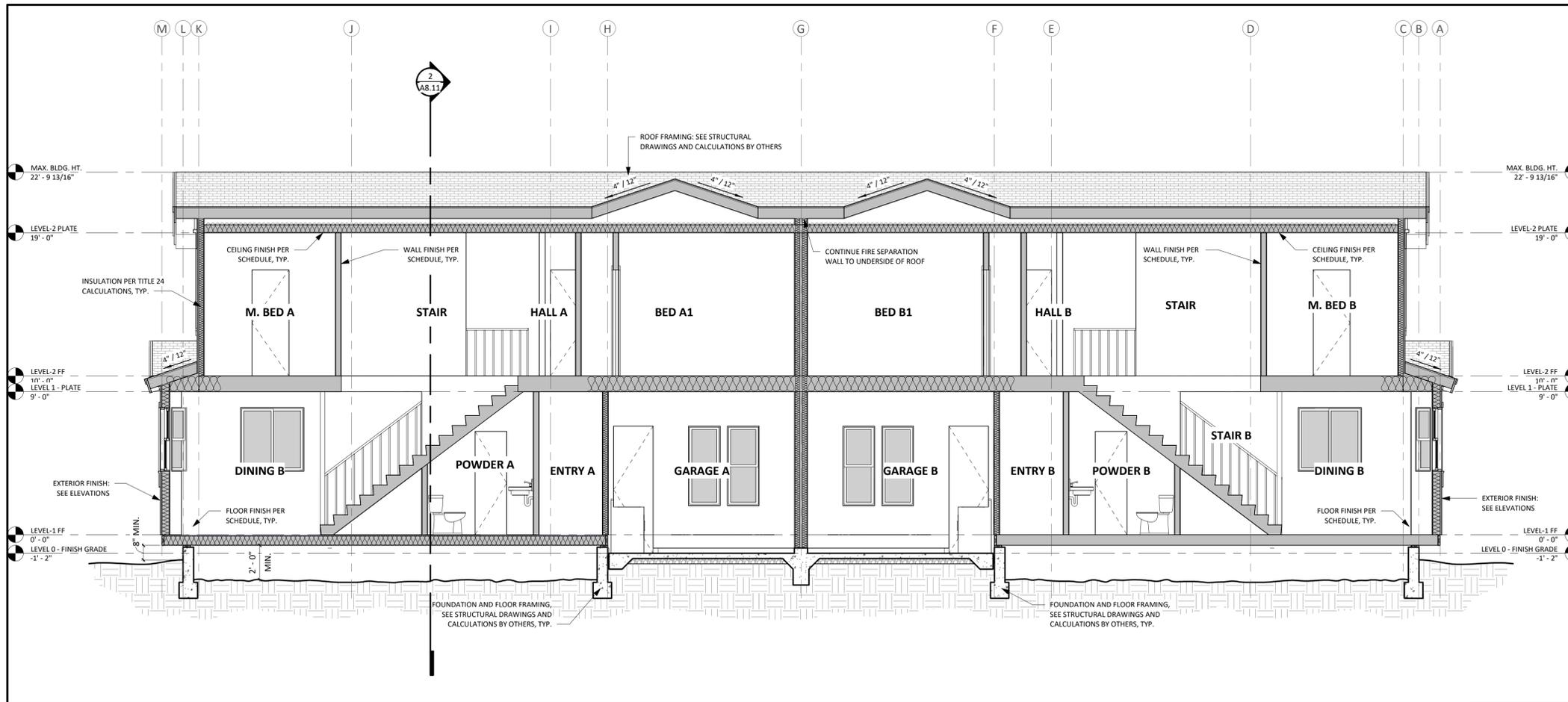
ARCHITECT'S APPROVAL:

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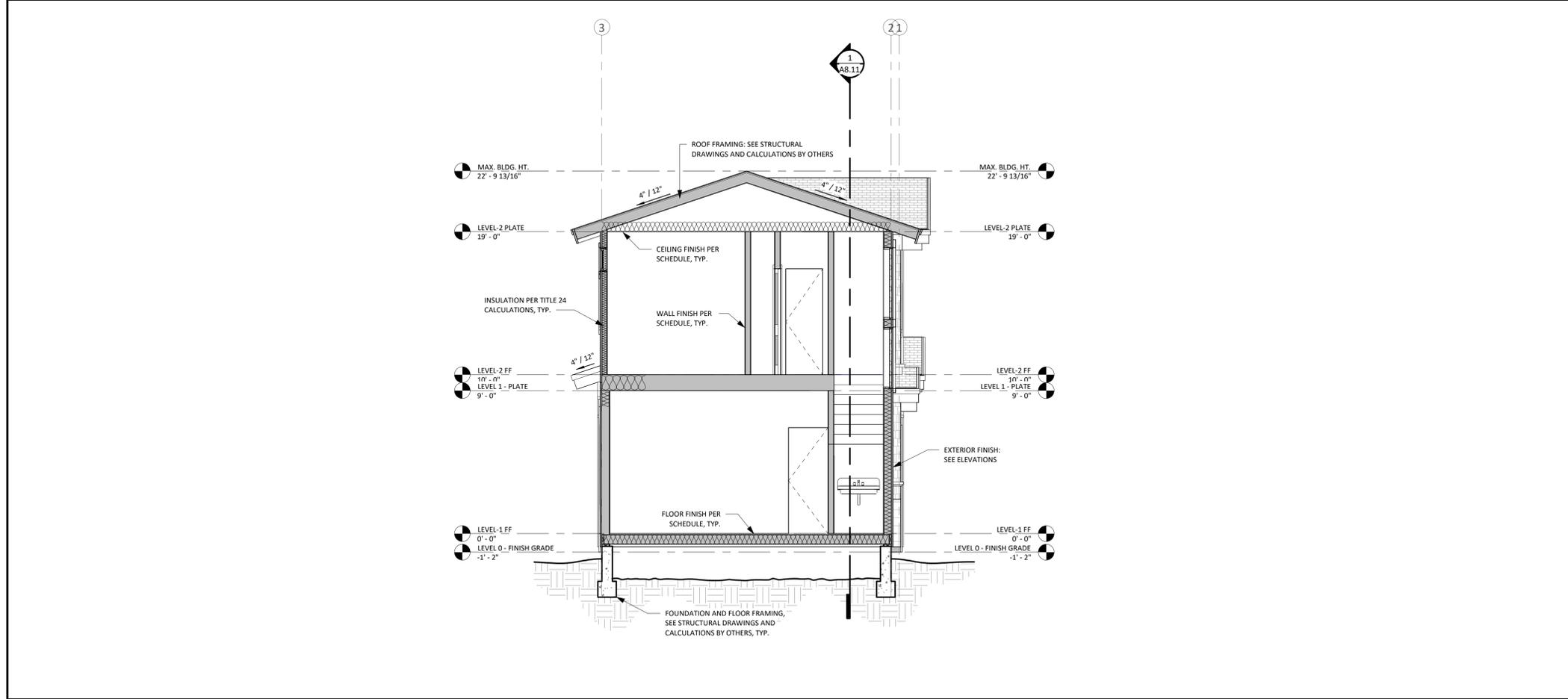
SHEET:

**A8.11**

SHEET: 12 OF 20 SHEETS



SECTION 1 SCALE 1/4" = 1'-0" 1



SECTION 2 SCALE 1/4" = 1'-0" 2

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PROJECT: 20190109

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APN 047-208-100  
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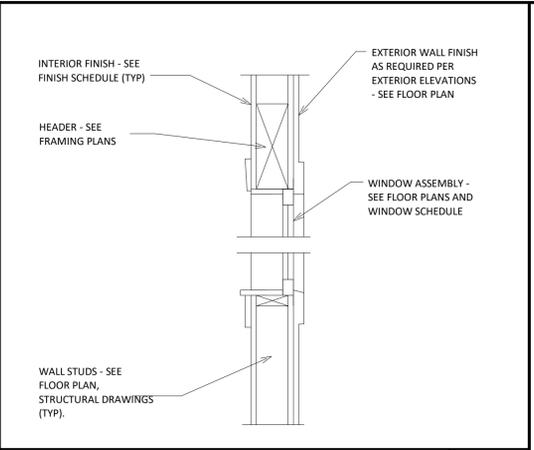
NEW PROJECT FOR:  
**BERTINA & ROBERT MOULES**  
APN 047-208-100  
EL GRANADA, CA 94018

TITLE:  
DETAILS  
ISSUES:  
Project Issue Date: 02/25/19  
Project Status: SCHEMATIC DESIGN  
Sheet Issue Date: 11/28/17  
Revision Number:  
Revision Date:

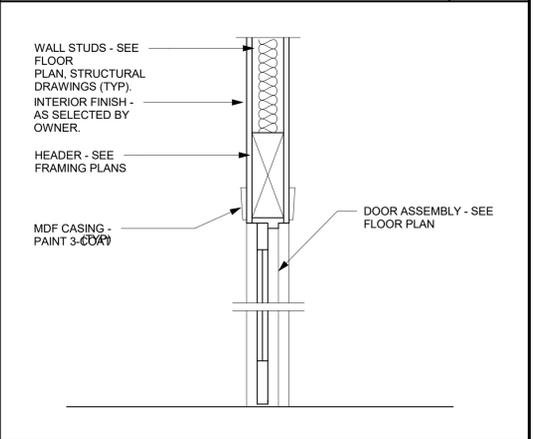
ARCHITECT'S APPROVAL:

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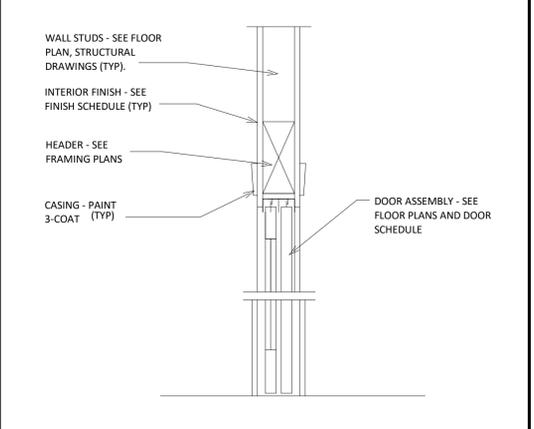
SHEET:  
**A9.11**  
SHEET: 16 OF 20 SHEETS



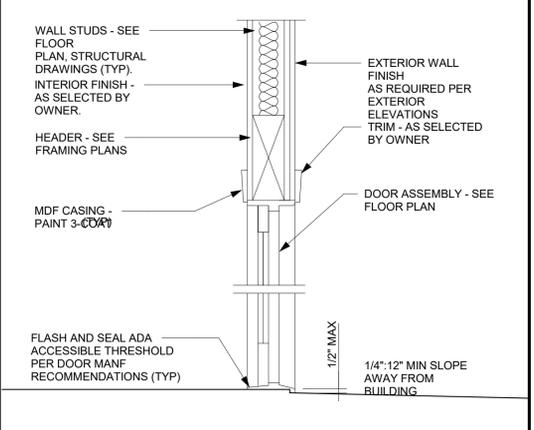
**WINDOW HEAD**  
3/4" = 1'-0" 4



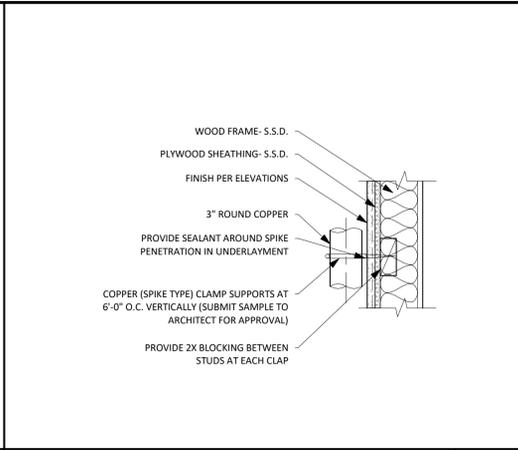
**INTR DOOR**  
3/4" = 1'-0" 3



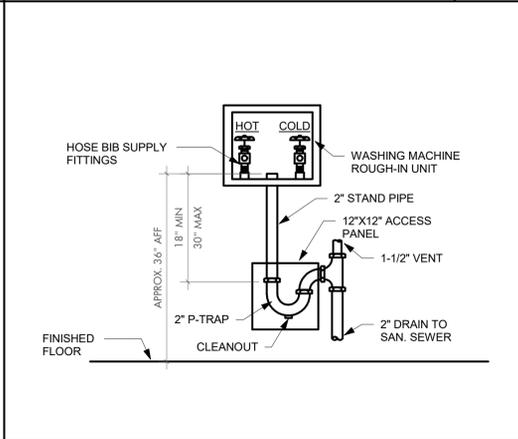
**INTR BYPASS**  
3/4" = 1'-0" 2



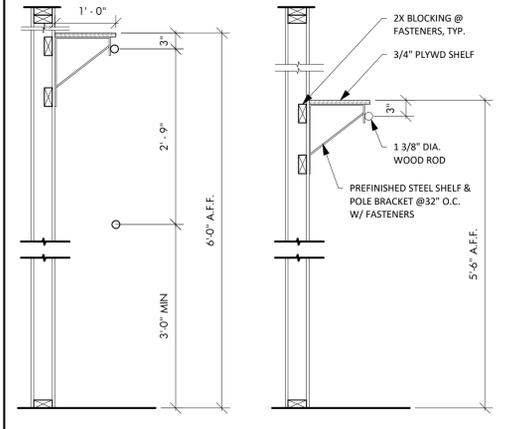
**EXTER DOOR HEAD**  
3/4" = 1'-0" 1



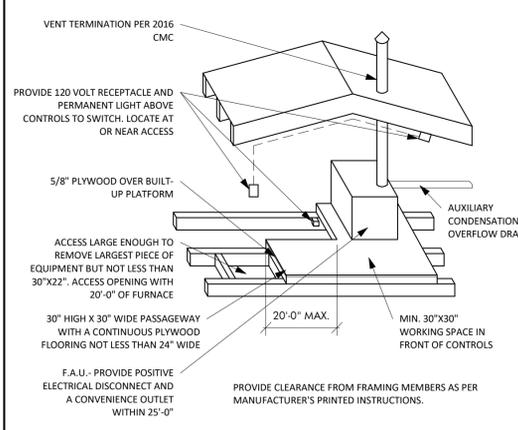
**DOWNSPOUT MOUNTING BRACKET**  
1 1/2" = 1'-0" 8



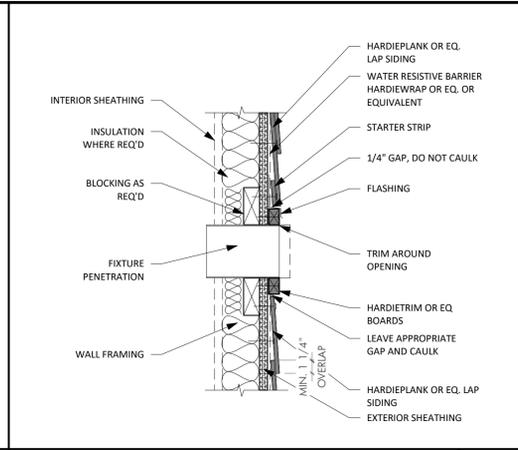
**WASHING MACHINE HOOKUP**  
3/4" = 1'-0" 7



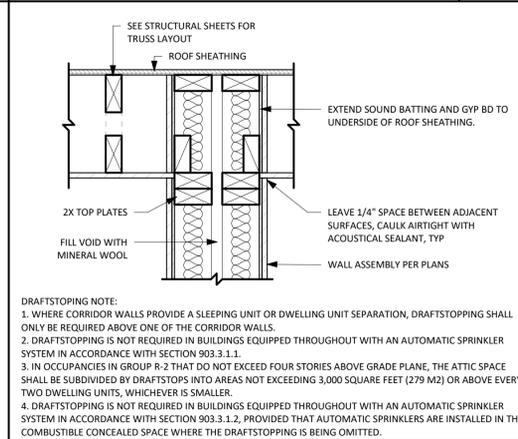
**SHELF & POLE**  
3/4" = 1'-0" 6



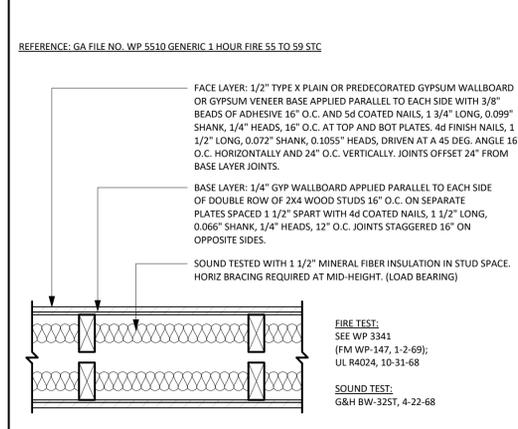
**FAU IN ATTIC**  
1/2" = 1'-0" 5



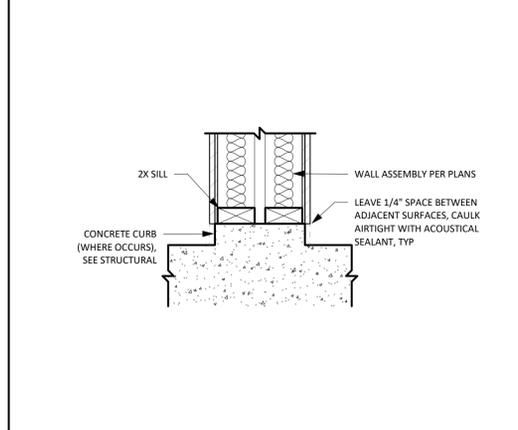
**HARDIEPLANK FIXTURE PENETRATION**  
1 1/2" = 1'-0" 12



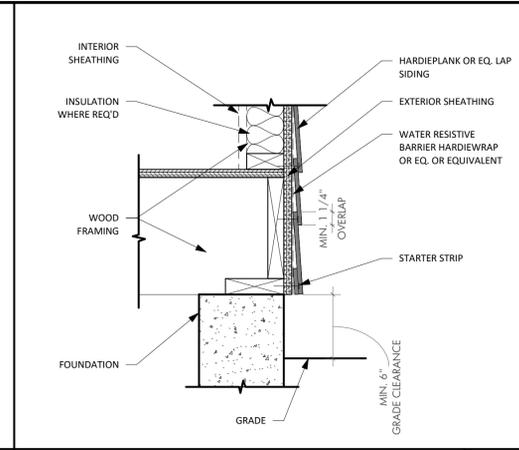
**1 HR - DBL 2X ROOF/CEILING**  
3/4" = 1'-0" 11



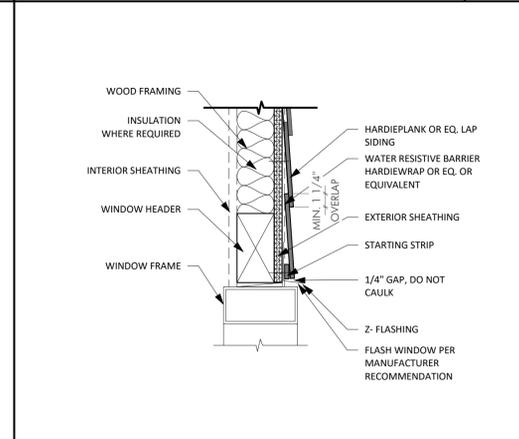
**1 HR - INT - DBL 2X**  
3/4" = 1'-0" 10



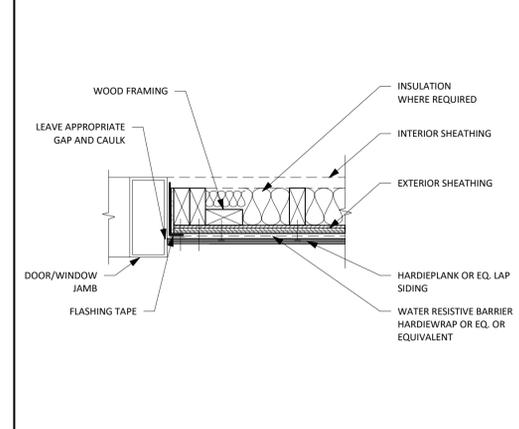
**1 HR - DBL 2X WALL/FLOOR**  
3/4" = 1'-0" 9



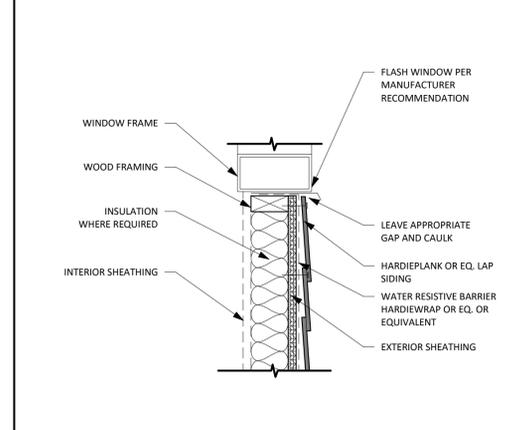
**HARDIEPLANK GRADE CLEARANCE**  
1 1/2" = 1'-0" 16



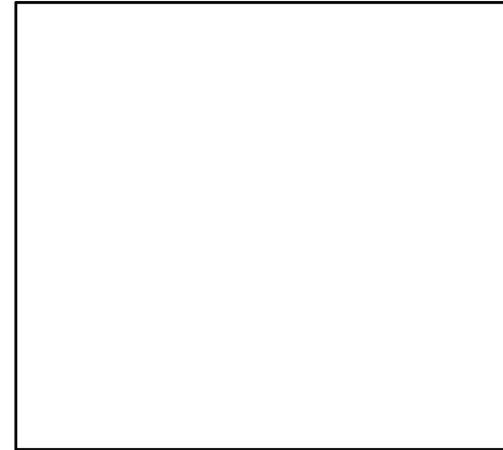
**HARDIEPLANK DOOR/WINDOW HEAD**  
1 1/2" = 1'-0" 15



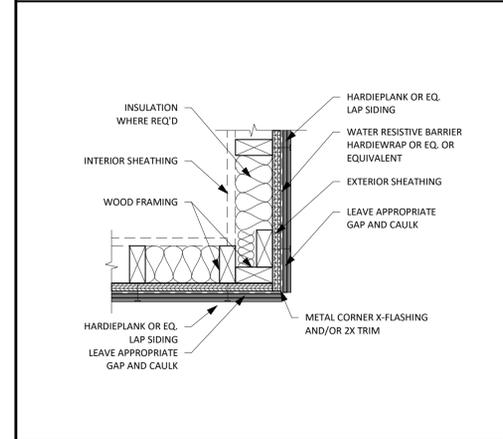
**HARDIEPLANK DOOR/WINDOW JAMB**  
1 1/2" = 1'-0" 14



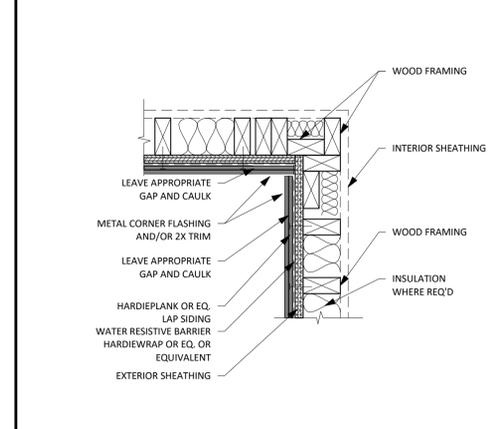
**HARDIEPLANK WINDOW SILL**  
1 1/2" = 1'-0" 13



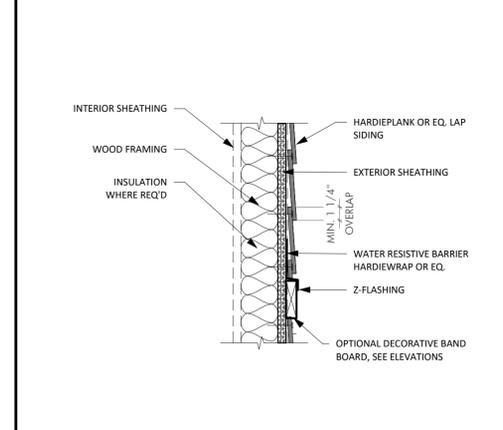
**HARDIEPLANK HORIZONTAL VIEW**  
1 1/2" = 1'-0" 17



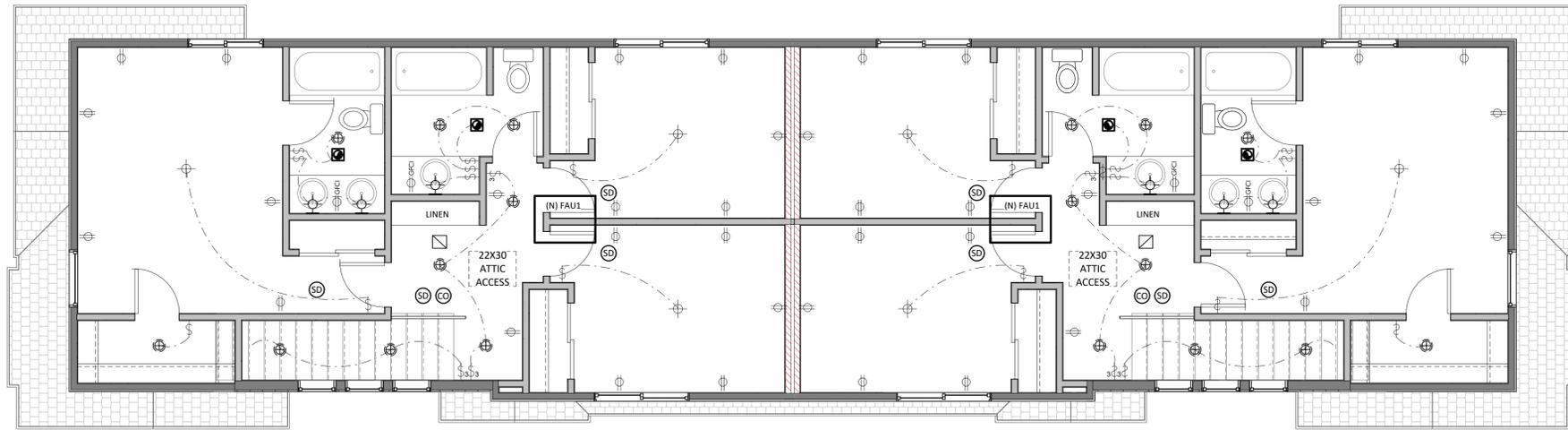
**HARDIEPLANK OUTSIDE CORNER**  
1 1/2" = 1'-0" 19



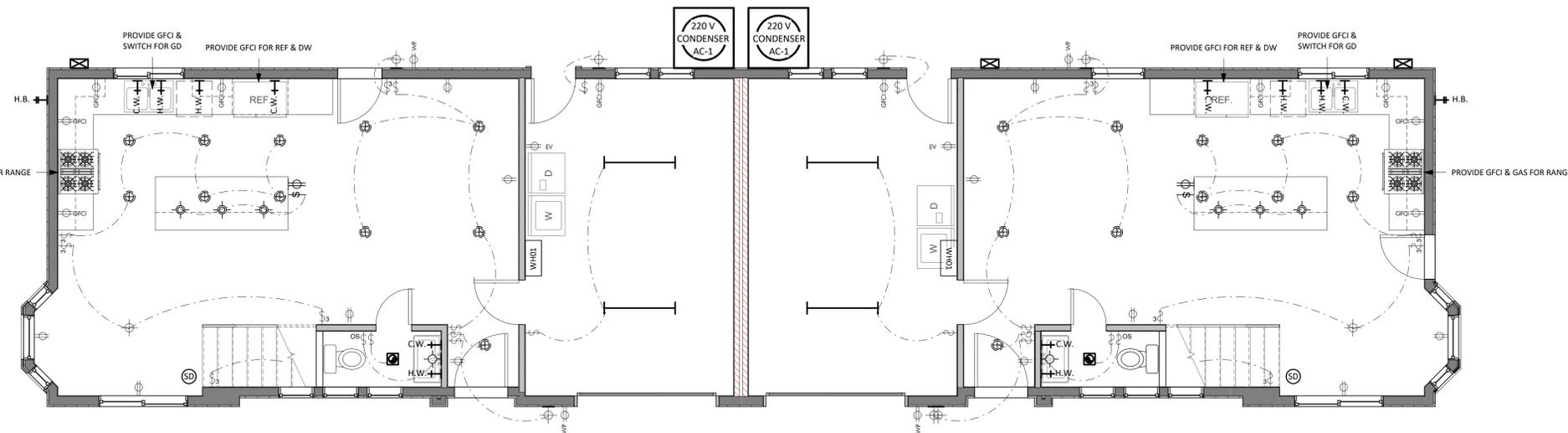
**HARDIEPLANK INSIDE CORNER**  
1 1/2" = 1'-0" 18



**HARDIEPLANK HORIZONTAL VIEW**  
1 1/2" = 1'-0" 17



LEVEL 2 - UTILITY PLAN SCALE 1/4" = 1'-0" 2



LEVEL 1 - UTILITY PLAN SCALE 1/4" = 1'-0" 1

**LEGEND: ELECTRICAL LIGHTING PLAN**

16511.IFCSD1	INTERIOR LIGHT FIXTURE CEILING SURFACE-1: 60W/120V SURFACE MOUNTED INCANDESCENT LIGHT FIXTURE. CONTROL W/ MANUAL-ON OCCUPANCY SENSORS.
16511.ICFDR0	INTERIOR COMPACT FLUORESCENT DOWNLIGHT FIXTURE RECESSED (REMODEL): PROVIDE ALUMINUM SPECULAR CLEAR REFLECTOR, 6" HALO H273RICAT1D OR EQUAL. REFER TO LIGHT FIXTURE INSTALLATION DETAILS FOR MOUNTING. FLUORESCENT FIXTURES SHALL BE IN COMPLIANCE WITH CEC 2013 ENERGY COMPLIANCE STANDARDS MANDATORY MEASURES, REQUIREMENTS FOR A 40 LUMENS PER WATT EFFICIENCY LAMP. PROVIDE IC (INSULATED COVER) APPROVED. PROVIDE WATERPROOF DIFFUSERS IN SHOWERS AND WET AREAS.
16511.IPLVFCSD1	INTERIOR PENDANT LOW VOLTAGE LIGHT FIXTURE CEILING SURFACE-1: 50W/12V/MR16 HALO LV2TCN OR EQUAL. TRIM AND FINISH AS SELECTED BY OWNER.
16511.IJLVFS01	INTERIOR LIGHT FIXTURE VANITY SURFACE-1: 60W/120V SURFACE MOUNTED INCANDESCENT VANITY LIGHT FIXTURE AS SELECTED BY OWNER. CONTROL W/ MANUAL-ON OCCUPANCY SENSORS.
16521.ELFS01	EXTERIOR LIGHT FIXTURE SURFACE-1: 60W/120V WEATHERPROOF LIGHT FIXTURE. PROVIDE UL RATED BOX. CONTROL LIGHT WITH SEPARATE SWITCH AND WITH MANUAL-ON/AUTOMATIC OFF PHOTO CONTROL, (TYP).
16511.IELFR01	INTERIOR EXHAUST/LIGHT FIXTURE RECESSED-1: 250W/120V: EXHAUST FAN/HEAT/LIGHT COMBINATION FIX. CONTROL W/ MANUAL-ON OCCUPANCY SENSORS. MECHANICAL EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH ASHRAE 62.2, SECTION 5; EXHAUST FANS SHALL BE ENERGY COMPLIANT; EXHAUST FANS SHALL TERMINATE OUTSIDE THE BUILDING.
16511.IPLCLCH01	INTERIOR CHANDELIER LIGHT FIXTURE CEILING HANGING-1: AS SELECTED BY OWNER.
16511.IJLFRS101	INTERIOR LIGHT FIXTURE SHOP LIGHT-1: FLOURESCENT SHOP LIGHT, CHOSEN BY OWNER
16145.I120VSW1	INTERIOR SWITCHING CONTROL DEVICE: 120V/20A SINGLE POLE SWITCH. MOUNT ON WALL +48" A.F.F. (U.N.O.).
16145.I120VSW3	INTERIOR SWITCHING CONTROL DEVICE: 120V/20A THREE-WAY POLE SWITCH. MOUNT ON WALL +48" A.F.F. (U.N.O.).
16145.I120VSW2	INTERIOR DIMMER SWITCHING CONTROL DEVICE: 120V/20A SINGLE POLE DIMMER SWITCH. MOUNT ON WALL +48" A.F.F. (U.N.O.).

**LEGEND: ELECTRICAL POWER PLAN**

16200.E100A01	(N) 200 AMP ELECTRICAL SERVICE PANEL
16140.I120VODAW	INTERIOR WIRING CONTROL DEVICE: 120V. DUPLEX OUTLET WALL MOUNTED +18" A.F.F. (U.N.O.) W/ ARC FAULT CIRCUIT INTERRUPTER PROTECTION AND LISTED TAMPER RESISTANT. CEC 210.12 (B), CEC 406.11, CEC 210.52.
16140.I120VODGW	INTERIOR WIRING CONTROL DEVICE: 120V. DUPLEX OUTLET +18" A.F.F. (U.N.O.) W/ GROUND FAULT CIRCUIT INTERRUPTER PROTECTION. IN KITCHEN AND DINING AREAS A RECEPTACLE SHALL BE PROVIDED FOR EACH COUNTER SPACE WIDER THAN 12" AND SPACED NO MORE THAN 4'-0" APART, A MAXIMUM OF 2'-0" FROM THE END OF THE COUNTER. CEC 210.52(C)(1).
16140.I220VODAW	INTERIOR WIRING CONTROL DEVICE: 220V. DUPLEX OUTLET WALL MOUNTED +18" A.F.F. (U.N.O.) PER CEC
16140.I120VWODW	EXTERIOR WIRING CONTROL DEVICE: LISTED WEATHER RESISTENT TYPE 120V. DUPLEX OUTLET W/ GFCI WEATHERPROOF ENCLOSURE PER CEC 406.8(B)(1)
16200.E100A01	(N) ELECTRICAL SERVICE SUBPANEL
16140.IECC03	INTERIOR ELECTRICAL CABLE/CONDUCTOR-3: NM CABLE (ROMEX) CONCEALED IN WALL, CEILING OR RAISED FLOOR SPACES W/ MINIMUM 2 #12 AWG CONDUCTORS AND 1 #12 GROUND. SUPPORT AND PROTECT CABLE PER NEC 334.

**LEGEND: ELECTRICAL SIGNAL PLAN**

16715.ISDS01	110V SMOKE DETECTOR W/ BATTERY BACK-UP: INSTALL AS PER 2007 CBC, INTERCONNECT TO SOUND AN ALARM AUDIBLE IN ALL BEDROOMS IN THE DWELLING. INSTALL ONE (1) SMOKE DETECTOR IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR AREA GIVING ACCESS TO THESE SLEEPING AREAS. A SMOKE DETECTOR SHALL BE INSTALLED ON EACH LEVEL AND IN CLOSE PROXIMITY TO STAIRWAYS.
16715.ICOS01	110V CARBON MONOXIDE SENSOR W/ BATTERY BACK-UP: INSTALL AS PER 2010 CRC 315.1, INTERCONNECT TO SOUND AN ALARM AUDIBLE IN ALL BEDROOMS IN THE DWELLING. INSTALL ONE (1) CARBON MONOXIDE SENSOR IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR AREA GIVING ACCESS TO THESE SLEEPING AREAS. A CARBON MONOXIDE SENSOR SHALL BE INSTALLED ON EACH LEVEL AND IN CLOSE PROXIMITY TO STAIRWAYS.

**LEGEND: PLUMBING SUPPLY & GAS PLAN**

15055.CW1	COLD WATER SUPPLY: PER CPC 2013.
15055.HW1	HOT WATER SUPPLY: PER CPC 2013.
15194.GAS1	GAS-1: PROPANE GAS CONNECTION W/ VALVE. SEE SITE PLAN FOR LOCATION OF NEW PROPANE TANK.
15055.HB1	HOSE BIB-1: PROVIDE NON-REMOVABLE BACKFLOW PREVENTION DEVICE AS PER 2013 CPC

**LEGEND: MECHANICAL EQUIPMENT PLAN**

09260.AA01	(N) ACCESS ATTIC-1: 22" X 30" MIN. READILY ACCESSIBLE ATTIC PANEL WITH PULL DOWN LADDER, AND WITH A MINIMUM OF 30" CLEAR HEADROOM ABOVE PER 2013 CRC 807.1
15671.CU1	MECHANICAL CONDENSING UNIT-1: 220V (DUAL-SPEED), 5-TON AC CONDENSER, TYPICAL (U.N.O.). SEE ENERGY CALCULATIONS
15763.EFAU1	(N) MECHANICAL GAS FIRED FORCED AIR UNIT: MECHANICAL GAS FIRED FORCED AIR UNIT LOCATED IN ATTIC AS SHOWN ON UTILITY PLAN. SEE TITLE 24 ENERGY CALCULATIONS. SUPPLY LIGHT WITH LIGHT SWITCH AT ATTIC ACCESS & OUTLET IN ATTIC.
15486.WH01	TANKLESS WATER HEATER (GAS FIRED): SEE ENERGY CALCULATIONS.
15855.MCVF1	MECHANICAL CONTINUOUS VENT FAN: 80 CFM BROAN SMARTSENSE FAN MODEL SSQTXE080 OR EQUAL. PROVIDE (1) CONTINUOUS VENT FAN PER 2010 BUILDING ENERGY EFFICIENCY STANDARDS, SECT. 150 (I).

**SEAN FREITAS**  
ARCHITECT

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ROBERT & BERTINA MOULES  
APN 047-208-100  
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NEW PROJECT FOR:  
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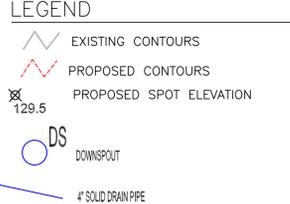
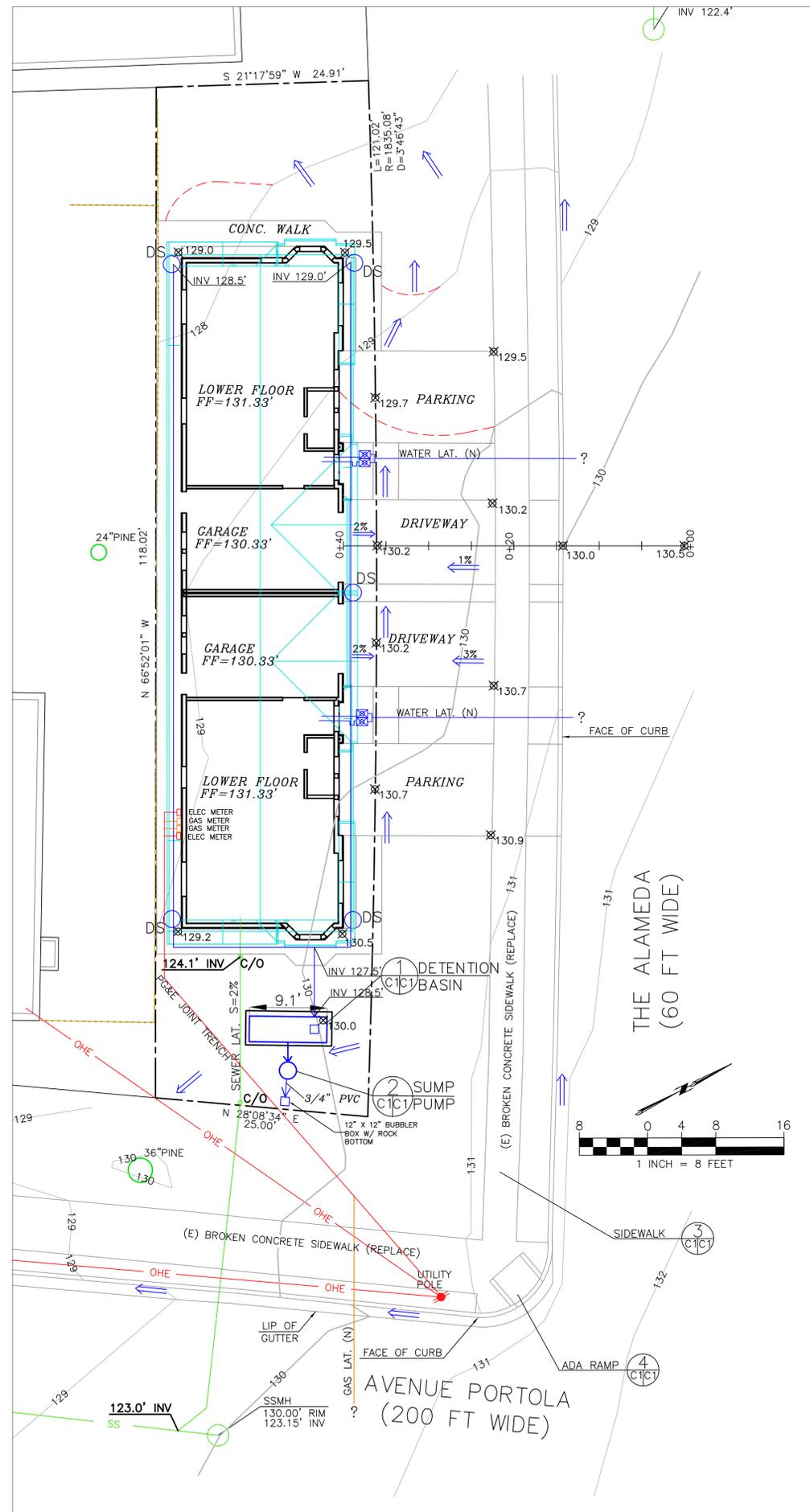
TITLE:  
UTILITY PLAN

ISSUES:  
Project Issue Date: 02/15/19  
Project Status: SCHEMATIC DESIGN  
Sheet Issue Date: 11/28/17  
Revision Number:  
Revision Date:

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SHEET:  
**AE1**  
SHEET: 14 OF 20 SHEETS



**GENERAL NOTES**

- PLANS PREPARED AT THE REQUEST OF: ROBERT MOULES, OWNER
- TOPOGRAPHY BY S. MICALLES, SURVEYED 5-25-12.
- THIS IS NOT A BOUNDARY SURVEY.
- ELEVATION DATUM ASSUMED.
- THE GEOTECHNICAL REPORT: **SOILS REPORT FOR PROPOSED DUPLEX: THE ALAMEDA, EL GRANADA, APN 047-208-120**; DATE: 8-29-19, BY SIGMA PRIME GEOSCIENCES, PROJECT NO. 19-160 SHALL BE RETAINED ON THE CONSTRUCTION SITE. THE GEOTECHNICAL ENGINEER OF RECORD IS SIGMA PRIME GEOSCIENCES, WITH THE CONTACT NUMBER (650)-728-3590. THE CONTRACTOR SHALL NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD AT LEAST 48 HOURS BEFORE CONSTRUCTION OF GEOTECHNICAL RELATED WORK. THE GEOTECHNICAL PART OF CONSTRUCTION WORK, INCLUDING BUT NOT LIMITED TO, ALL THE EARTHWORK AND FOUNDATION CONSTRUCTIONS, MUST SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD.
- STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUB-GRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS AND PHONE NUMBER (650-306-8405 EXT 181) TO SCHEDULE COUNTY DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

**DRAINAGE NOTES**

- DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
- ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION BASIN, AS SHOWN.
- ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
- IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASIN/ENERGY DISSIPATER TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

**GRADING NOTES**

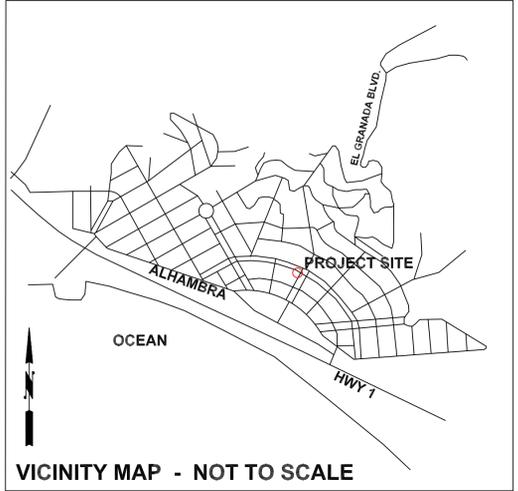
CUT VOLUME : 30 CY (FOR FOUNDATION)  
 FILL VOLUME: 10 CY

VOLUMES ABOVE ARE APPROXIMATE.

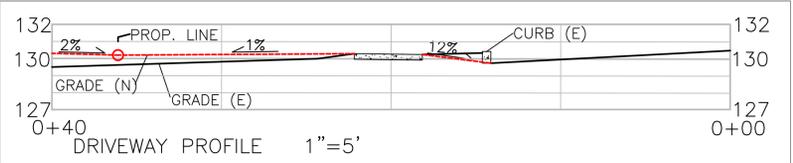
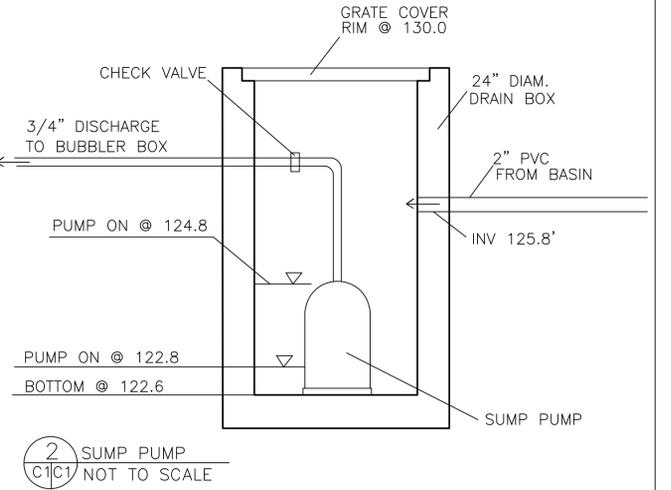
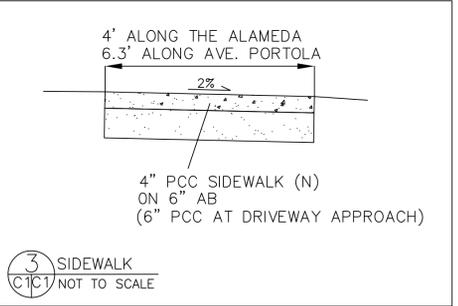
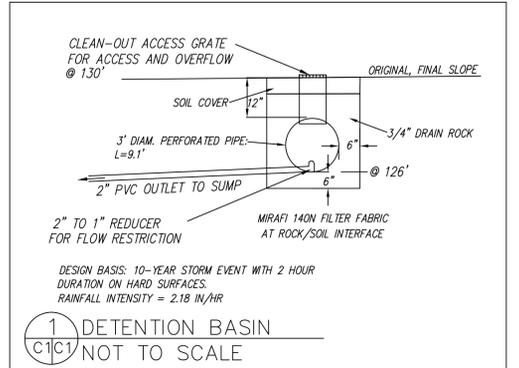
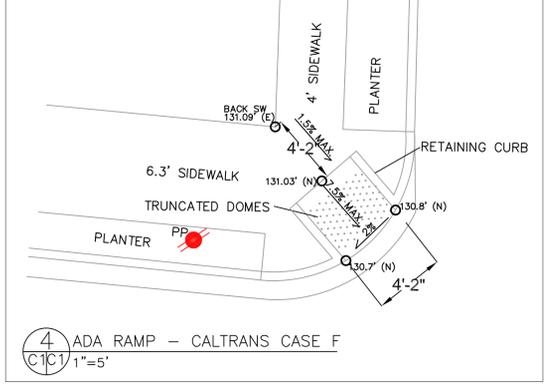
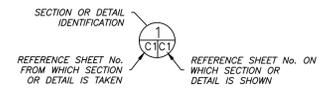
THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.

ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.



**SECTION AND DETAIL CONVENTION**

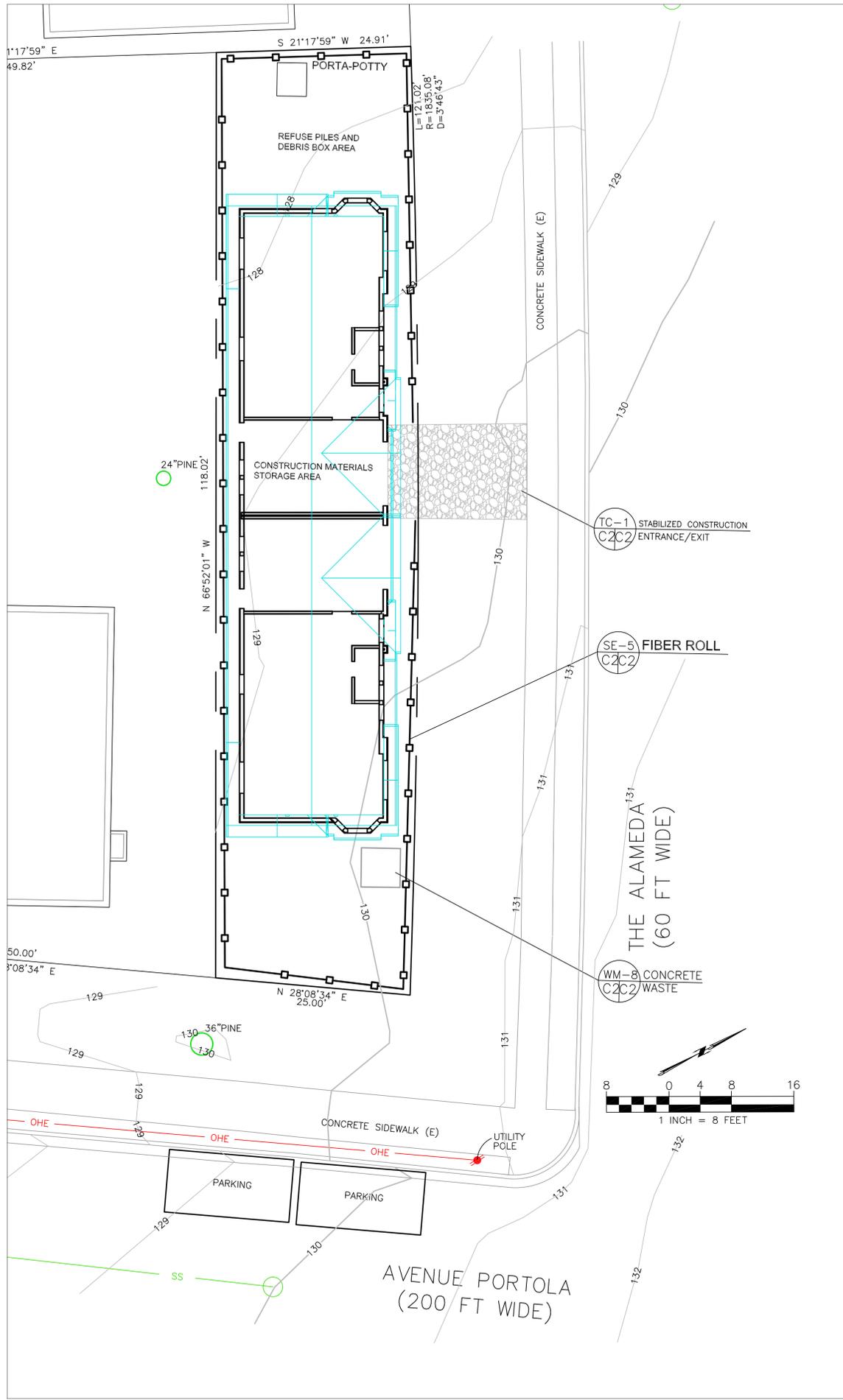


**Grading and Drainage Plan**

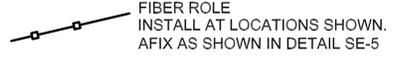
**MOULES PROPERTY THE ALAMEDA EL GRANADA APN 047-208-100**

DATE: 9-12-19  
 DRAWN BY: CNK  
 CHECKED BY: AZG  
 REV. DATE: \_\_\_\_\_  
 REV. DATE: \_\_\_\_\_  
 REV. DATE: \_\_\_\_\_

**SHEET C-1**



**GENERAL EROSION AND SEDIMENT CONTROL NOTES**



- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- There are no trees or driplines on the site.

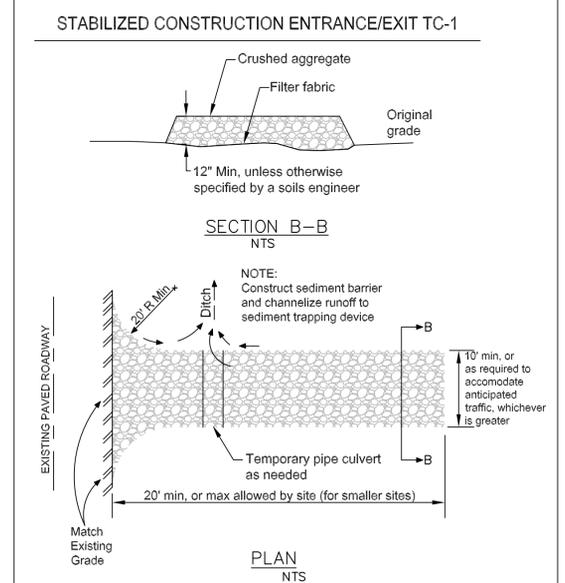
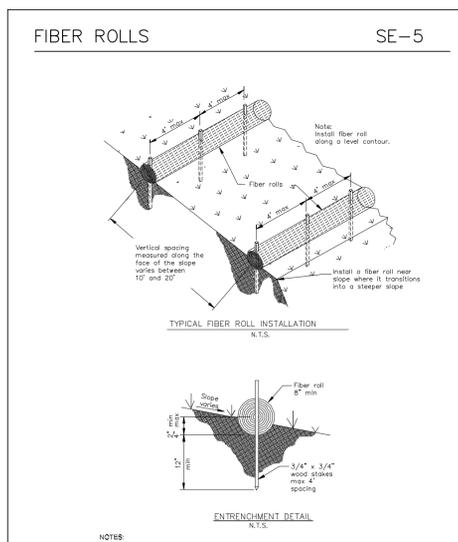
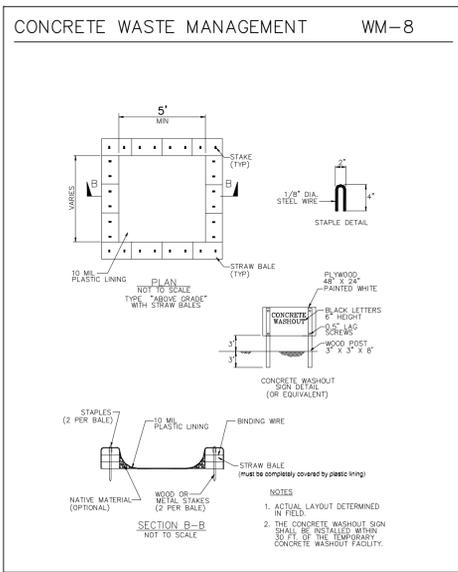


**EROSION CONTROL POINT OF CONTACT**

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: ROBERT MOULES  
 TITLE/QUALIFICATION: OWNER  
 PHONE: 650-759-7814  
 E-MAIL: BRMOULES@YAHOO.COM

**Sigma Prime Geosciences, Inc.**  
 SIGMA PRIME GEOSCIENCES, INC.  
 332 PRINCETON AVENUE  
 HALF MOON BAY, CA 94019  
 (650) 728-3590  
 FAX 728-3593



DATE: 9-12-19  
 DRAWN BY: CMK  
 CHECKED BY: AZG  
 REV. DATE:  
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 REV. DATE:

**EROSION AND SEDIMENT CONTROL PLAN**

**MOULES PROPERTY**  
**THE ALAMEDA**  
**EL GRANADA**  
 APN 047-208-100

SHEET  
 C-2