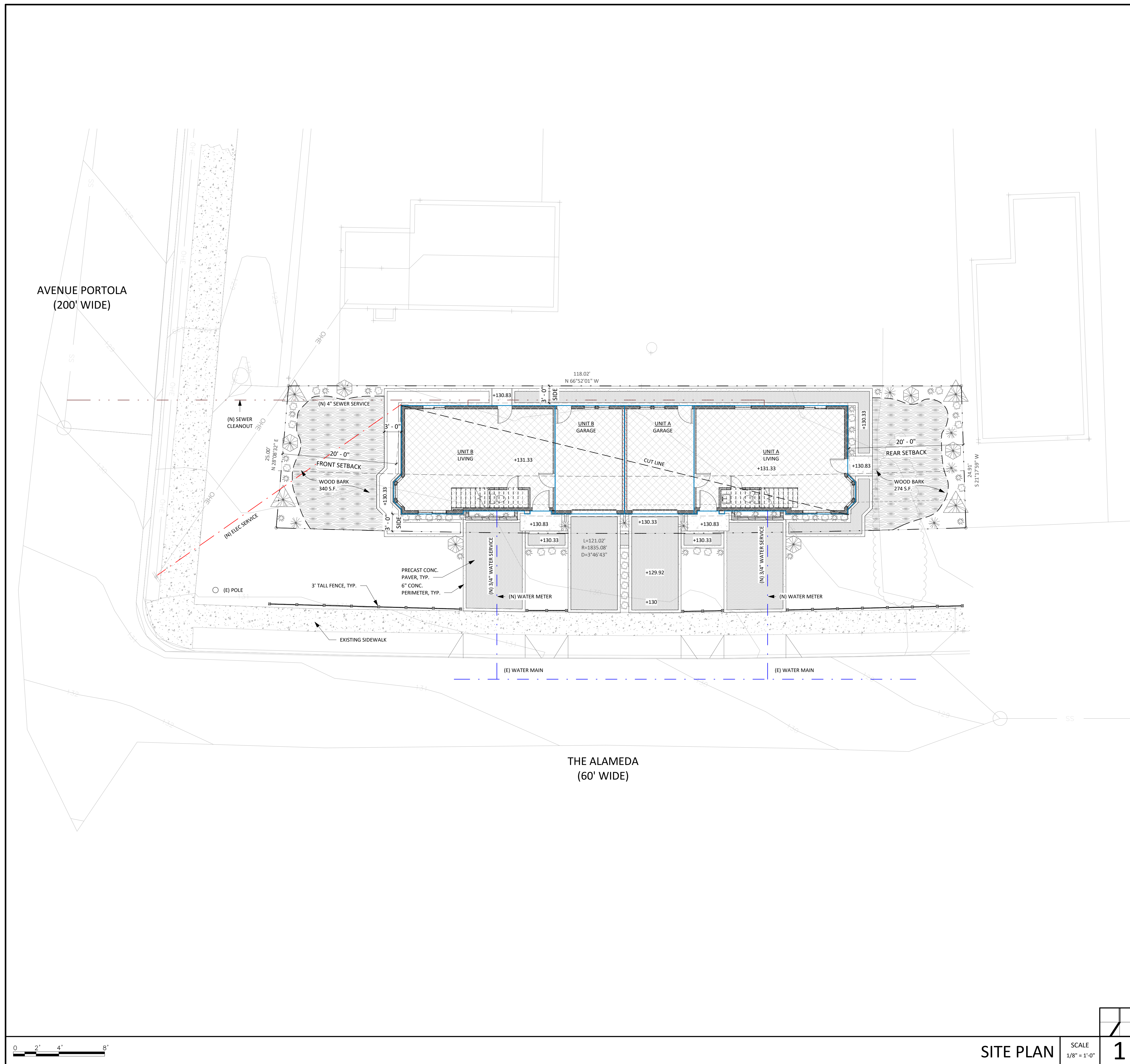


WGS_1984_Web_Mercator_Auxiliary_Sphere
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1:2,257

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



PROJECT BUILDING AREA			
UNCONDITIONED AREA:	EXISTING AREA	NEW AREA	TOTAL AREA
UNIT A - LEVEL 1 - GARAGE	0 SF	231 SF	231 SF
UNIT B - LEVEL 1 - GARAGE	0 SF	231 SF	231 SF
	0 SF	0 SF	0 SF
	0 SF	0 SF	0 SF
	0 SF	0 SF	0 SF
	0 SF	0 SF	0 SF
TOTAL UNCONDITIONED AREA:	0 SF	462 SF	462 SF
CONDITIONED AREA:	EXISTING AREA	NEW AREA	TOTAL AREA
UNIT A - LEVEL 1 - LIVING AREA	0 SF	511 SF	511 SF
UNIT A - LEVEL 2 - LIVING AREA	0 SF	712 SF	712 SF
UNIT B - LEVEL 1 - LIVING AREA	0 SF	511 SF	511 SF
UNIT B - LEVEL 2 - LIVING AREA	0 SF	712 SF	712 SF
	0 SF	0 SF	0 SF
	0 SF	0 SF	0 SF
TOTAL CONDITIONED AREA:	0 SF	2446 SF	2446 SF
TOTAL BUILDING AREA:	0 SF	2908 SF	2908 SF
STRUCTURE LOT COVERAGE:	0 SF 3,056 s.f.	1489 SF 48.72 %	1489 SF 48.72 %
PAVING LOT COVERAGE: (PAVERS)	0 SF	882 SF 2.68 %	882 SF 2.68 %
LANDSCAPE LOT COVERAGE:	0 SF	372 SF 12.17 %	372 SF 12.17 %
WALKWAYS/OTHER COVERAGE:	0 SF	61 SF .18 %	61 SF .18 %

SEAN FREITAS
ARCHITECT

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PROJECT: 20190109

CLIENT:
ROBERT & BERTINA MOULES
APN 047-208-100
EL GRANADA, CA 94018
Tel:
Email:

NEW PROJECT FOR:
BERTINA & ROBERT MOULES
APN 047-208-100
EL GRANADA, CA 94018

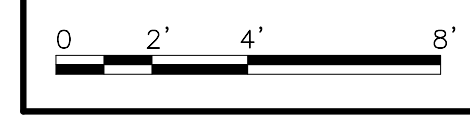
TITLE:
SITE PLAN

ISSUES:
Project Issue Date: 02/15/19
Project Status: SCHEMATIC DESIGN
Sheet Issue Date: 02/15/19
Revision Number:
Revision Date:

ARCHITECT'S APPROVAL:

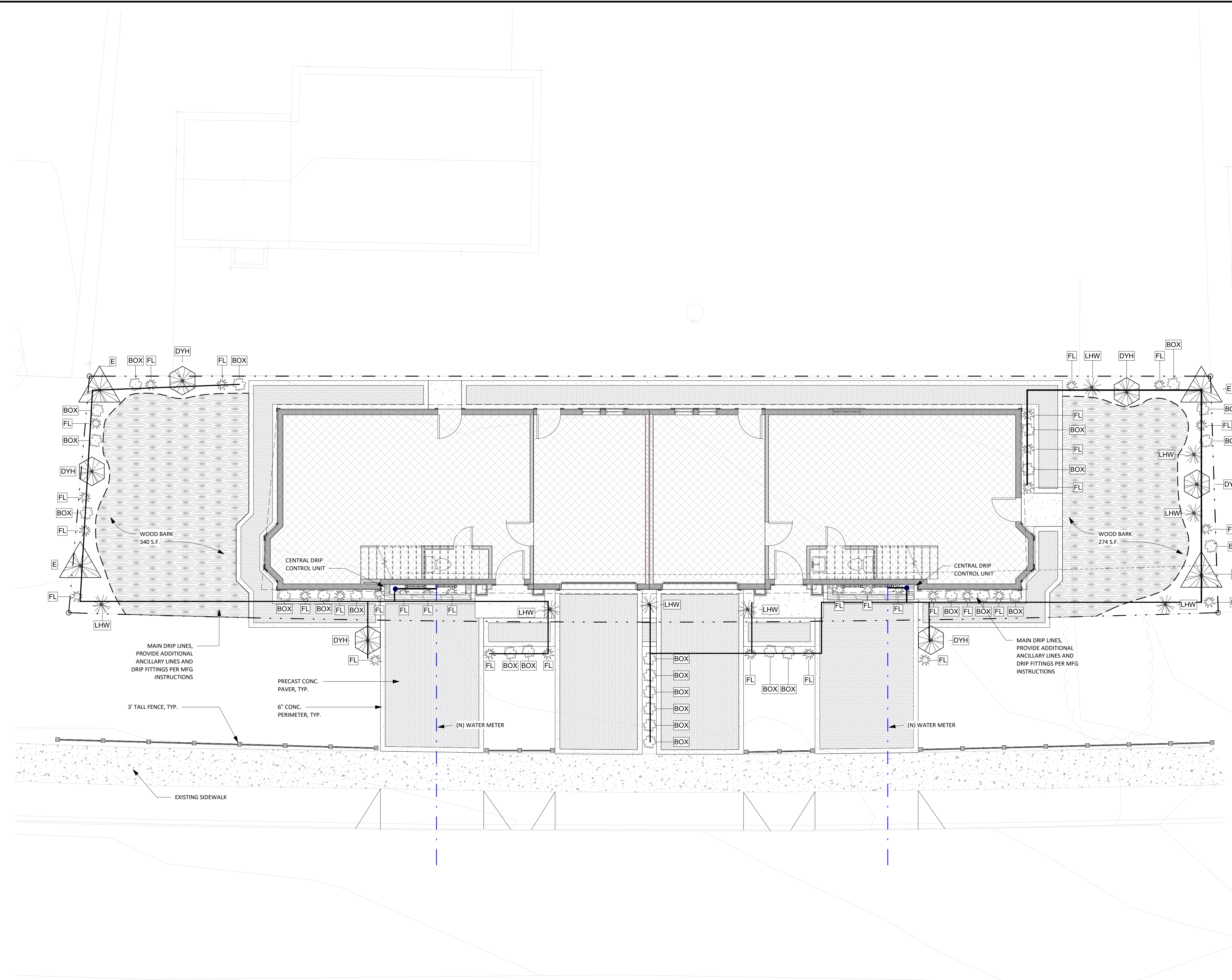
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SHEET:
A2.11
SHEET: 3 OF 20 SHEETS



SITE PLAN SCALE 1/8" = 1'-0" **1**

* SEE SHEET 3.11 FOR SPECIFIC ROOM AREAS



THE ALAMEDA
(60' WIDE)

Planting Schedule

MARK	QTY	SIZE	PLANT TYPE	NAME	BOTANICAL NAME	LIGHT NEED	H2O USE	SUNSET	WUCOLS
FL	32	1 GAL	PERENNIAL	FLAX LILY	DIANELLA REVOLUTA	PARTIAL SUN	LOW	8, 9, 14-24	.2
E	4	1 GAL	SHRUB	ESCALLONIA	ESCALLONIA SPP. & CVS.	PARTIAL SUN	LOW	4-9, 14-24	.2
BOX	27	2 QT	BOXWOOD SHRUB	AFRICAN BOXWOOD	MYRSINE AFRICANA	PARTIAL SUN	LOW	8-9, 14-24	.2
DYH	6	3 GAL	SHRUB	DWARF YEDDA HAWTHORN	RHAPHIOLEPIS UMBELLATA	PARTIAL SUN	LOW	8-10, 12-24	.2
LHW	8	1 GAL	GROUND COVER, SHRUB	LOW HORIZON WESTRINGIA	WESTRINGIA FRUTICOSA	PARTIAL SUN	LOW	8, 9, 14-24	.2

WUCOLS AVE. = 2

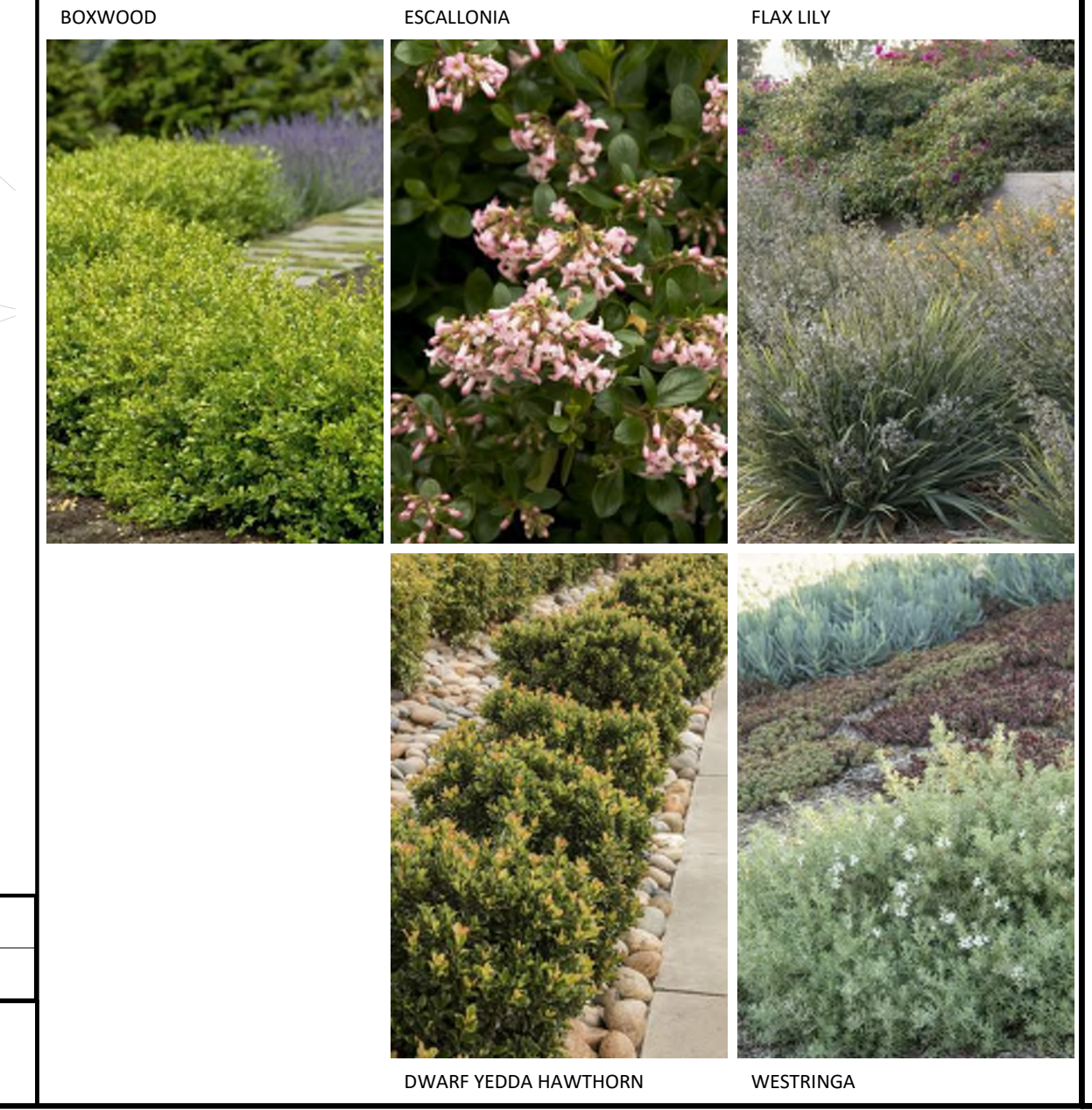
77
 NEW PLANT MATERIAL 372 S.F.
 TURF 0.00 S.F.
 NEW LANDSCAPING (TOTAL) 372 S.F.
 NEW GROUND COVER (MULCH) 614 S.F.

LEGEND: LANDSCAPING

	PROPOSED PLANTING: FOR COMPLETE LIST OF PLANT TYPES, COUNTS, NAMES, BOTANICAL NAMES, LIGHTING REQUIREMENTS, AND WATER USE SEE "PLANTING SCHEDULE"
	LANDSCAPE HEADERBOARD: COMPOSITE LANDSCAPE EDGING.

- ### GENERAL NOTES: LANDSCAPING
- ALL SHRUB AREAS SHALL BE COMPLETELY COVERED WITH A 3" LAYER OF DECORATIVE (CONTRASTING) WALK-ON BARK. PROVIDE SAMPLE TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION.
 - A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOFING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
 - FIELD ADJUST TREES AS NECESSARY TO MAINTAIN THE FOLLOWING MINIMUM CLEARANCES:
 - 8 FEET CLEARANCE FROM SEWER OR WATER LINES.
 - 5 FEET CLEARANCE FROM STORM DRAIN, JOINT TRENCH AND FIRE HYDRANTS
 - 15 FEET FROM STREET LIGHTS
 - 25 FEET FROM STOP SIGNS/STOP LIGHTS.
 - SEE SOIL TESTING NOTES (IF APPLICABLE) FOR SOIL AMENDMENT AND FERTILIZER RATES.
 - TREES TO RECEIVE ROOTBARRIER IF PLANTED WITHIN 5' OF HARDSCAPE.
 - CERTIFICATION OF COMPLETION TO BE COMPLETED BY THE CONTRACTOR FOR EACH HOUSE INSTALLED AND EXCEEDS 500 SQ.FT. OF LANDSCAPE AREA. THE CERTIFICATION OF COMPLETION TO CONTAIN THE FOLLOWING INFORMATION:
 - DATE, PROJECT NAME, PROJECT APPLICANT NAME, TELEPHONE AND MAILING ADDRESS, PROJECT ADDRESS AND LOCATION, AND PROPERTY OWNER NAME, TELEPHONE AND MAILING ADDRESS.
 - CERTIFICATION BY LICENSED LANDSCAPE CONTRACTOR WHO INSTALLED THE LANDSCAPING AND IRRIGATION. WHERE SIGNIFICANT CHANGES ARE MADE IN THE FIELD DURING CONSTRUCTION "AS-BUILT" OR RECORD DRAWINGS SHALL BE INCLUDED. A COPY OF THE IRRIGATION PLAN OR RECORD DRAWING SHALL BE PLACED WITH THE IRRIGATION CONTROLLER.
 - IRRIGATION SCHEDULING PARAMETERS USED TO SET THE CONTROLLER.
 - LANDSCAPE AND IRRIGATION MAINTENANCE SCHEDULE
 - IRRIGATION AUDIT REPORT.
 - SOILS ANALYSIS REPORT. (IF APPLICABLE)
 - IRRIGATION AUDIT SHALL BE CONDUCTED BY A THIRD PARTY IRRIGATION AUDITOR. LANDSCAPE AUDITS SHALL NOT BE CONDUCTED BY THE PERSON WHO DESIGNED THE LANDSCAPE OR INSTALLED THE LANDSCAPE. THE APPLICANT SHALL SUBMIT AN IRRIGATION AUDIT REPORT WITH THE CERTIFICATE OF COMPLETION TO THE LOCAL AGENCY THAT MAY INCLUDE, BUT IS NOT LIMITED TO: INSPECTION, SYSTEM TUNE-UP, SYSTEM TEST WITH DISTRIBUTION UNIFORMITY, REPORTING OVERSPRAY OR RUN OFF THAT CAUSES OVERLAND FLOW, AND PREPARATION OF AN IRRIGATION SCHEDULE, INCLUDING CONFIGURING IRRIGATION CONTROLLERS WITH APPLICATION RATE, SOIL TYPES, PLANT FACTORS, SLOPE, EXPOSURE AND OTHER FACTORS NECESSARY FOR ACCURATE PROGRAMMING.
 - IRRIGATION CONTROLLER PROGRAMMING DATA WILL NOT BE LOST DUE TO AN INTERRUPTION IN THE PRIMARY POWER SOURCE.
 - AUTOMATIC WEATHER-BASED OR SOIL-MOISTURE BASED IRRIGATION CONTROLLERS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM.
 - PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENDURE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
 - MANUAL SHUT-OFF VALVES SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY.
 - AREAS LESS THAN 10 FT IN WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY.
 - AT TIME OF FINAL INSPECTION, THE PERMIT APPLICATION MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.
 - UNLESS CONTRADICTED BY A SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 S.F. OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.

- ### GENERAL NOTES: SOIL TESTING (IF APPLICABLE)
- COORDINATE SOIL TESTING IN AN EXPEDITIOUS AND TIMELY MANNER AS REQUIRED FOR ON-SITE MATERIALS. RESPONSIBILITY OF CONTRACTING WITH A SOIL LABORATORY SHALL BE BORNE BY CONTRACTOR. COST OF SAMPLING AND TESTING SHALL BE INCLUDED IN CONTRACT PRICE. TWO (2) SAMPLES ARE REQUIRED. CONTRACTOR TO COLLECT SAMPLES IN THE PRESENCE OF OWNER'S REPRESENTATIVE. SAMPLE LOCATIONS TO BE IDENTIFIED ON PLAN.
 - EACH SAMPLE SHALL BE SUBMITTED TO A LABORATORY. THE LABORATORY MUST BE APPROVED BY THE OWNER. SUBMIT SAMPLE SIZES AS REQUIRED BY LABORATORY.
 - AS A MINIMUM, SOIL SAMPLES SHALL BE ANALYZED FOR: PH, SALINITY, AMMONIA, PHOSPHATE, POTASSIUM, CALCIUM, MAGNESIUM, BORON, AND SODIUM LEVELS. LABORATORY TO PROVIDE APPRAISAL OF CHEMICAL PROPERTIES, INCLUDING PARTICLE SIZE AND RECOMMENDATIONS FOR TYPES AND QUANTITIES OF AMENDMENTS AND FERTILIZERS. CONTRACTOR TO ADVISE TESTING LAB THAT THE FOLLOWING AMENDMENTS ARE TO BE INCLUDED IN RECOMMENDATIONS: GRO-POWER PLUS (MINIMUM RATE OF 150 LBS/1000 SQ.FT.) AND 90% BARK BASE PRODUCT, 1/4 INCH SIZE, TREATED WITH NITROGEN, 1/2-0-0. (MINIMUM RATE OF 4 CY PER 1000 SF.)



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PROJECT: 20190109

NEW PROJECT FOR:
BERTINA & ROBERT MOULES
 APN 047-208-100
 EL GRANADA, CA 94018

TITLE:
LANDSCAPING PLAN

ISSUES:

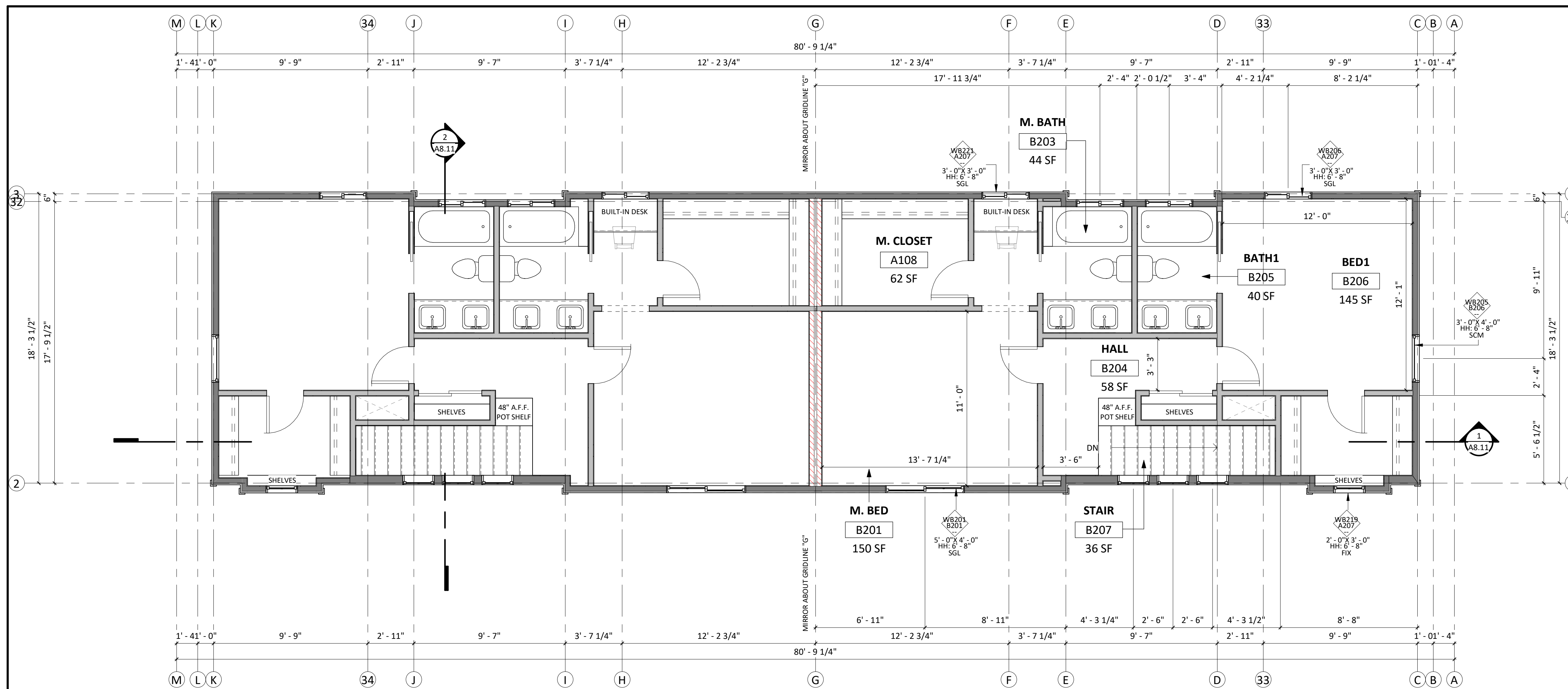
Project Issue Date:	02/25/19
Project Status:	SCHEMATIC DESIGN
Sheet Issue Date:	09/30/19
Revision Number:	
Revision Date:	

ARCHITECT'S APPROVAL:

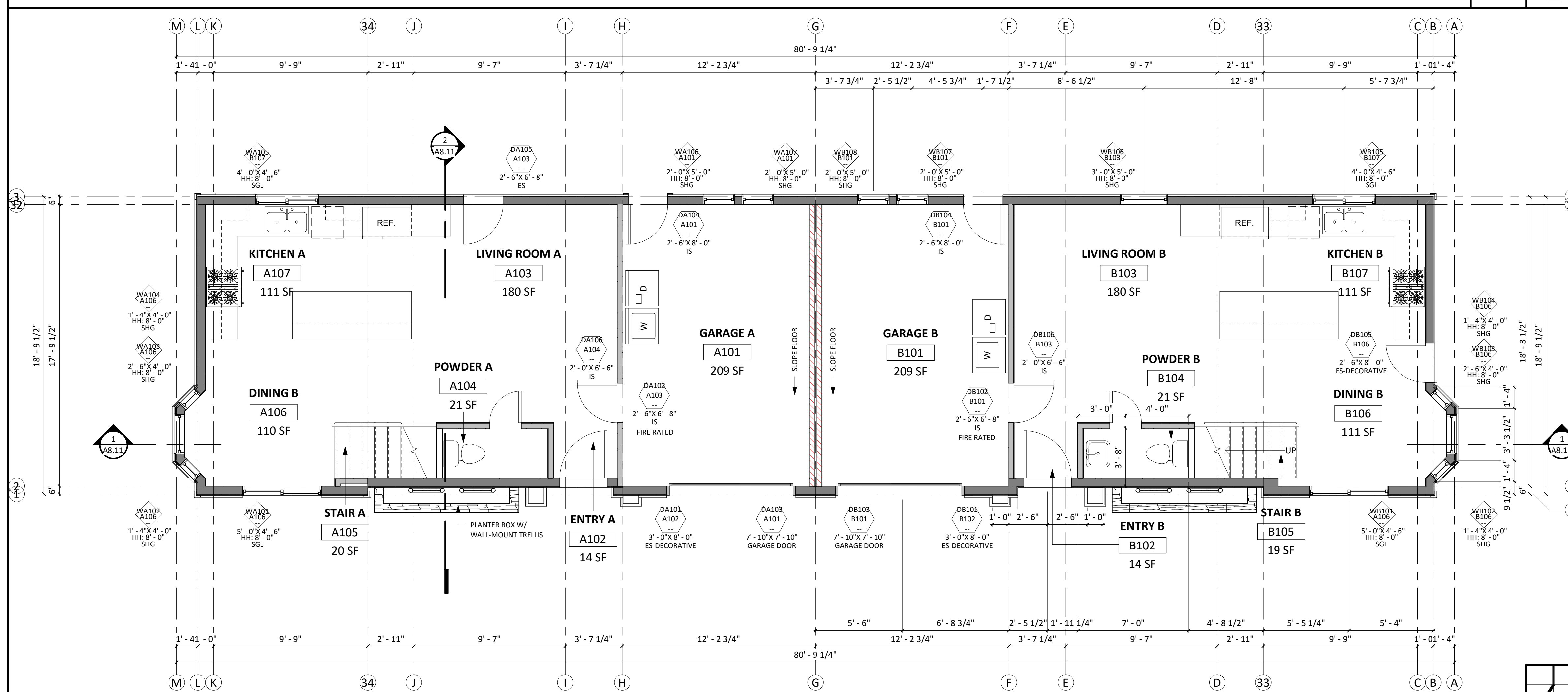
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SHEET:
A2.12

SHEET: 02 OF 20 SHEETS



LEVEL 2 - FLOOR PLAN SCALE 1/4" = 1'-0" 2



LEVEL 1 - FLOOR PLAN SCALE 1/4" = 1'-0" 1

LEGEND: FLOOR PLAN	
(N) BED1 (B206) 12'-0" X 12'-0" X 12'-0" SGL	ROOM NAME, ROOM NUMBER, ROOM SIZE AND NET AREA: SEE FINISH SCHEDULE SHEETS FOR REMARKS, MINIMUM PLATE HEIGHT, CEILING HEIGHT, FLOOR & WALL FINISHES.
W1008 (W1008) 4'-0" X 3'-0" HH: 8'-0" SGL	WINDOW SYMBOL: SEE WINDOW SCHEDULE SHEET. NOTE: ESCAPE OR RESCUE WINDOWS REQUIRED IN "R" OCCUPANCIES SHALL HAVE A MINIMUM NET CLEAR OPENABLE DIMENSIONS - AREA OF 5.7 S.F., HEIGHT 24," WIDTH 20," SILL HEIGHT 44" ABOVE FINISH FLOOR (TYP).
D1008 (D1008) 3'-0" X 8'-0" ES: (2)	DOOR SYMBOL: SEE DOOR SCHEDULE SHEET
O1008 (O1008) 3'-0" X 8'-0" RESE: NA RECTANGULAR	OPENING SYMBOL: SEE OPENING SCHEDULE SHEET
06100.WE06	NEW EXTERIOR WALL CONSTRUCTION - 2X6 D.F. STUDS @ 16" O.C. FINISH AS SPECIFIED ON FINISH SCHEDULE. INSULATE TO R-13 BATT (TYP) SEE EXTERIOR ELEVATIONS FOR LOCATION AND TYPE OF EXTERIOR FINISH.
06100.WE01	NEW EXTERIOR WALL CONSTRUCTION - 1 HOUR FIRE RATED PER CBC 705 - 2X6 D.F. STUDS @ 16" O.C. FINISH AS SPECIFIED ON FINISH SCHEDULE. INSULATE TO R-13 BATT (TYP) SEE EXTERIOR ELEVATIONS FOR LOCATION AND TYPE OF EXTERIOR FINISH.
06100.WN04	NEW INTERIOR WALL CONSTRUCTION: 2X4 D.F. STUDS @ 16" O.C. FINISH AS SPECIFIED ON FINISH SCHEDULE
06100.WN06	NEW INTERIOR WALL CONSTRUCTION: 2X6 D.F. STUDS @ 16" O.C. FINISH AS SPECIFIED ON FINISH SCHEDULE
08500.DR01	DOORS-1: SEE SCHEDULE COLOR: AS SELECTED BY OWNER- CAULK ALL EXTERIOR JOINTS (TYP). SEE WINDOW/DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE.
08500.WD01	WINDOWS-1: SEE SCHEDULE COLOR: AS SELECTED BY OWNER- CAULK ALL EXTERIOR JOINTS (TYP). SEE WINDOW/DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE.
15410.TL01	(N) WATER CLOSET: TO BE SELECTED BY OWNER
15410.SH01	(N) SHOWER ENCLOSURE: TO BE SELECTED BY OWNER
15410.LV01	(N) LAVATORY: TO BE SELECTED BY OWNER
11451.HD01	(N) CABINERY: TO BE SELECTED BY OWNER (N) COUNTER TOPS: TO BE SELECTED BY OWNER (N) BACKSPASHES: TO BE SELECTED BY OWNER
03300.ECP1	(N) EXT CONCRETE PAD-1: LENGTH TO MATCH DOOR X 30" MIN. DEPTH X 4" THICK CONCRETE PAD (MIN) @ ALL EXTERIOR DOORWAYS AND GRADE MOUNTED MECHANICAL EQUIPMENT. SLOPE PAD 1/4" X 12" AWAY FROM BUILDING EDGE. PROVIDE 8" MAXIMUM STEP FOR IN-SWINGING DOORS AND 1" MAXIMUM FOR EXTERIOR SWINGING DOORS BETWEEN TOP OF PAD AND THRESHOLD (TYP).
11451.RG01	(N) RANGE: AS SELECTED BY OWNER
11451.RF01	(N) REFRIGERATOR: AS SELECTED BY OWNER
11451.DW01	(N) DISHWASHER: AS SELECTED BY OWNER
11451.MW01	(N) SINK: AS SELECTED BY OWNER

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PROJECT: 20190109

CLIENT: ROBERT & BERTINA MOULES
APN 047-208-100
EL GRANADA, CA 94018
Tel: _____
Email: _____

NEW PROJECT FOR:
BERTINA & ROBERT MOULES
APN 047-208-100
EL GRANADA, CA 94018

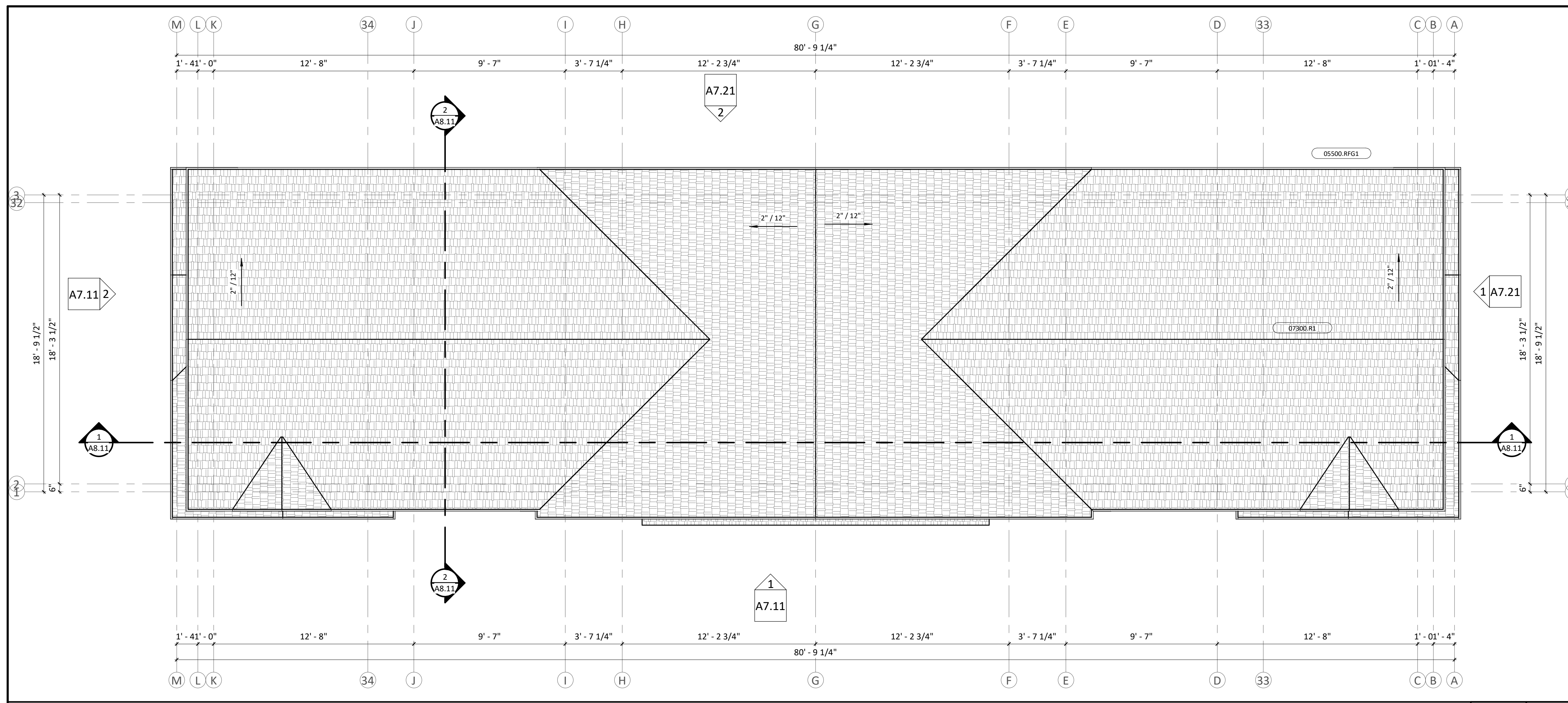
TITLE:
FLOOR PLANS

ISSUES:
Project Issue Date: 02/15/19
Project Status: SCHEMATIC DESIGN
Sheet Issue Date: 02/15/19
Revision Number:
Revision Date:

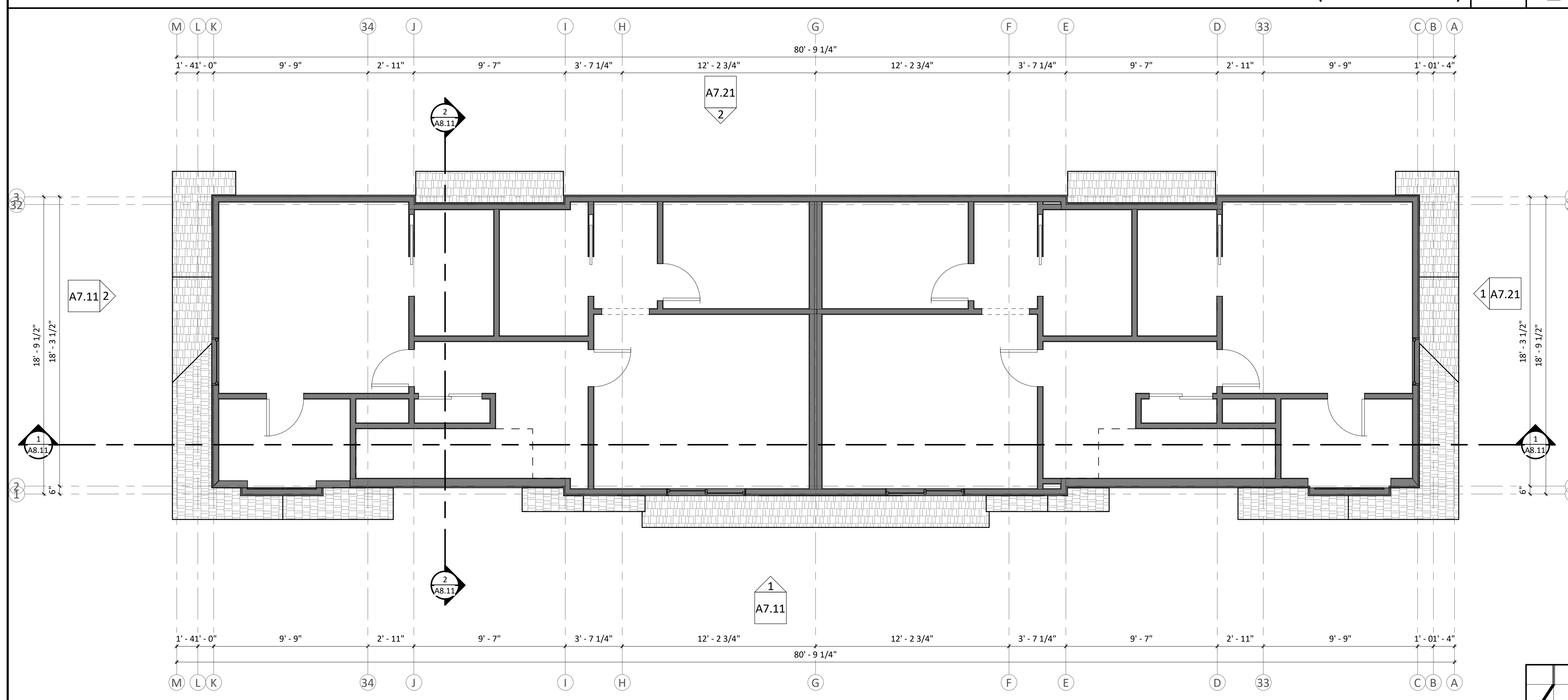
ARCHITECT'S APPROVAL:

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SHEET:
A3.11
SHEET: 4 OF 20 SHEETS



ROOF PLAN - LEVEL 2 (UPPER ROOF) SCALE 1/4" = 1'-0" 1



ROOF PLAN - LEVEL 1 (LOWER ROOF) SCALE 1/4" = 1'-0" 2

LEGEND: ROOF PLAN

07300.R1	ROOFING ASPHALT SHINGLES-1 CLASS "A" ASPHALT COMPOSITION ROOFING OVER 2 LAYERS 30 LB FELT AND PLYWOOD SHEATHING. TYP. COLOR AND STYLE TBD.
05500.RFG1	ROOF FASCIA GUTTER-1: 5" HIGH X 4" DEEP X26 GA METAL FASCIA. GUTTER PAINT 3-COAT. COLOR AND STYLE AS SELECTED BY OWNER. PROVIDE DOWNSPOUT AT EACH END OF GUTTER RUN UNLESS GUTTER TOTAL LINEAR LENGTH IS LESS THAN 15'-0" TYP. U.N.O.
	ROOF VENT-1: CHAGIN VENTILATION; 72 SQ. IN. TAPERED LOW PROFILE. COLOR AND STYLE TO MATCH ROOFING TILE.

ATTIC VENTILATION CALCULATION

1402 S.F. ATTIC AREA / 300 = 4.68 NFVA * 144 = 673 S.I. NFVA

-USE TWELVE (12) CHAGIN ROOF VENTS (72 SQ. IN. NFVA EACH) LOCATED IN VIEW. 6 HIGH & 6 LOW.

TRUSS SYSTEM NOTE:

IF IT IS ELECTED THAT ROOF FRAMING IS A PREMANUFACTURED TRUSS SYSTEM, TRUSS MANUFACTURER AND CONTRACTOR SHALL VERIFY ALL JOB CONDITIONS AND DIMENSIONS BEFORE BUILDING TRUSSES AND INSTALLING.

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- ADDITIONAL ROOF NOTES:**
- ALL OPENINGS PERTAINING TO ATTIC VENTILATION SHALL BE COVERED IN 1/8" CORROSION RESISTANT, NON-COMBUSTIBLE METAL MESH. SEC. R806.2, CRC. U.N.O.
 - WHERE VALLEY FLASHING IS INSTALLED, ROOF VALLEYS SHALL BE NO. 26 GAUGE GALVANIZED SHEET METAL OVER MINIMUM 72 LB. CAP SHEET. SEC. R327.5, CRC.
 - ROOF GUTTERS SHALL BE PROVIDED WITH A MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS. SEC. R327.5, CRC.
 - ROOF COVERING, WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING, THE SPACES SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS, BE FIRESTOPPED WITH APPROVED MATERIALS OR HAVE ONE LAYER OF NO. 72 ASTM CAP SHEET INSTALLED OVER THE COMBUSTIBLE DECKING.
 - VENT AND ROOF STACKS SHALL PROJECT THE MINIMUM DISTANCE REQUIRED BY CODE. PAINT VENTS AND STACKS TO MATCH ROOF MATERIAL COLORS. LOCATED IN AREA LEAST VISIBLE FROM STREET AND CONCEAL IN DORMER VENTS WHENEVER POSSIBLE.
 - ALL VENTS AND ROOF STACKS TO HAVE RAIN PROTECTION CAPS WHERE POSSIBLE.

SEAN FREITAS ARCHITECT

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PROJECT: 20190109

CLIENT:
ROBERT & BERTINA MOULES
APN 047-208-100
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Tel:
Email:

NEW PROJECT FOR:
BERTINA & ROBERT MOULES
APN 047-208-100
EL GRANADA, CA 94018

TITLE:
ROOF PLAN

ISSUES:

Project Issue Date:	03/25/19
Project Status:	SCHEMATIC DESIGN
Sheet Issue Date:	11/28/17
Revision Number:	
Revision Date:	

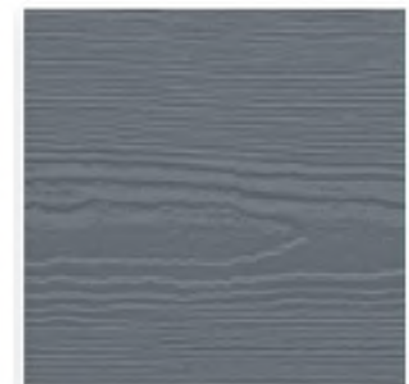
ARCHITECT'S APPROVAL:

SEAN P. FREITAS
NO. C23563
REN. 7/19
STATE OF CALIFORNIA

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SHEET:
A3.31

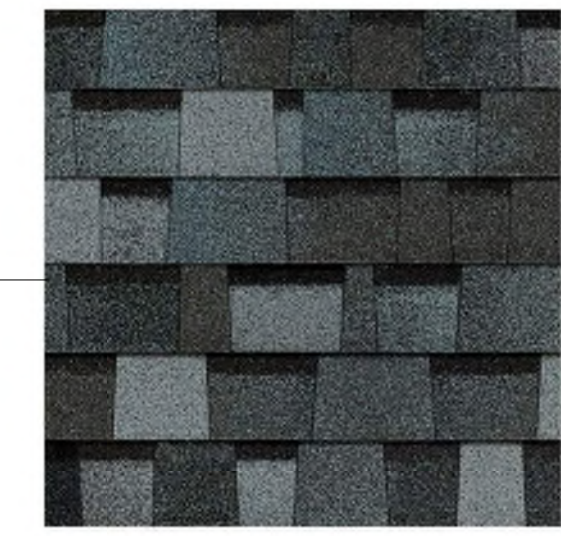
SHEET: 7 OF 20 SHEETS



BOOTHBAY BLUE



ARCTIC WHITE



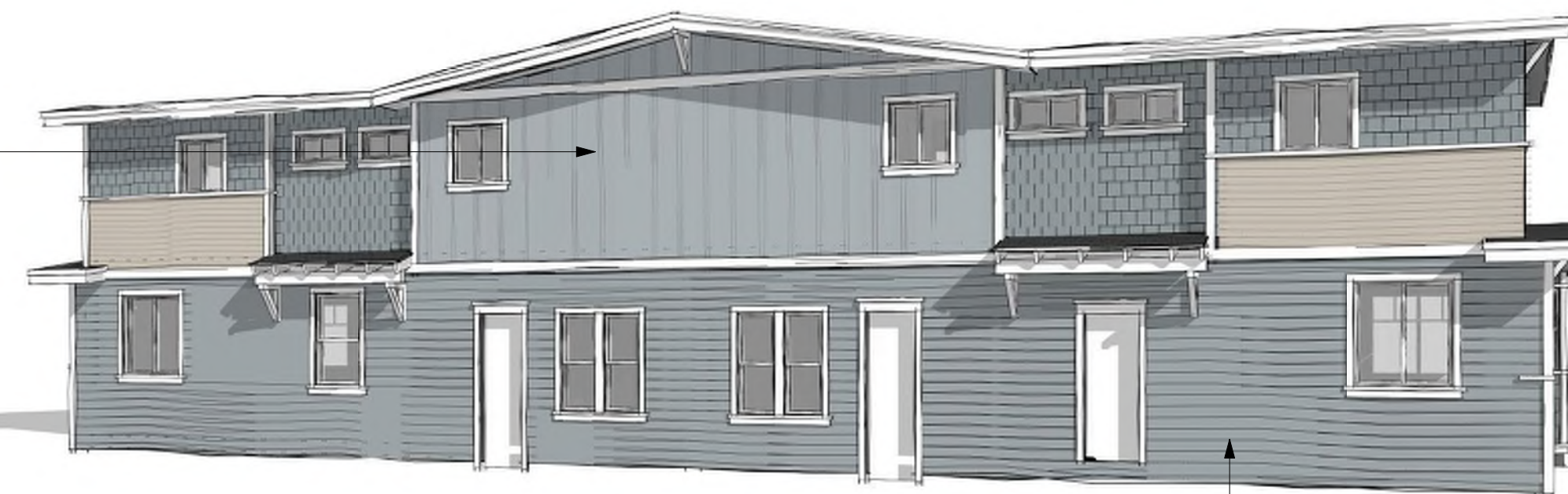
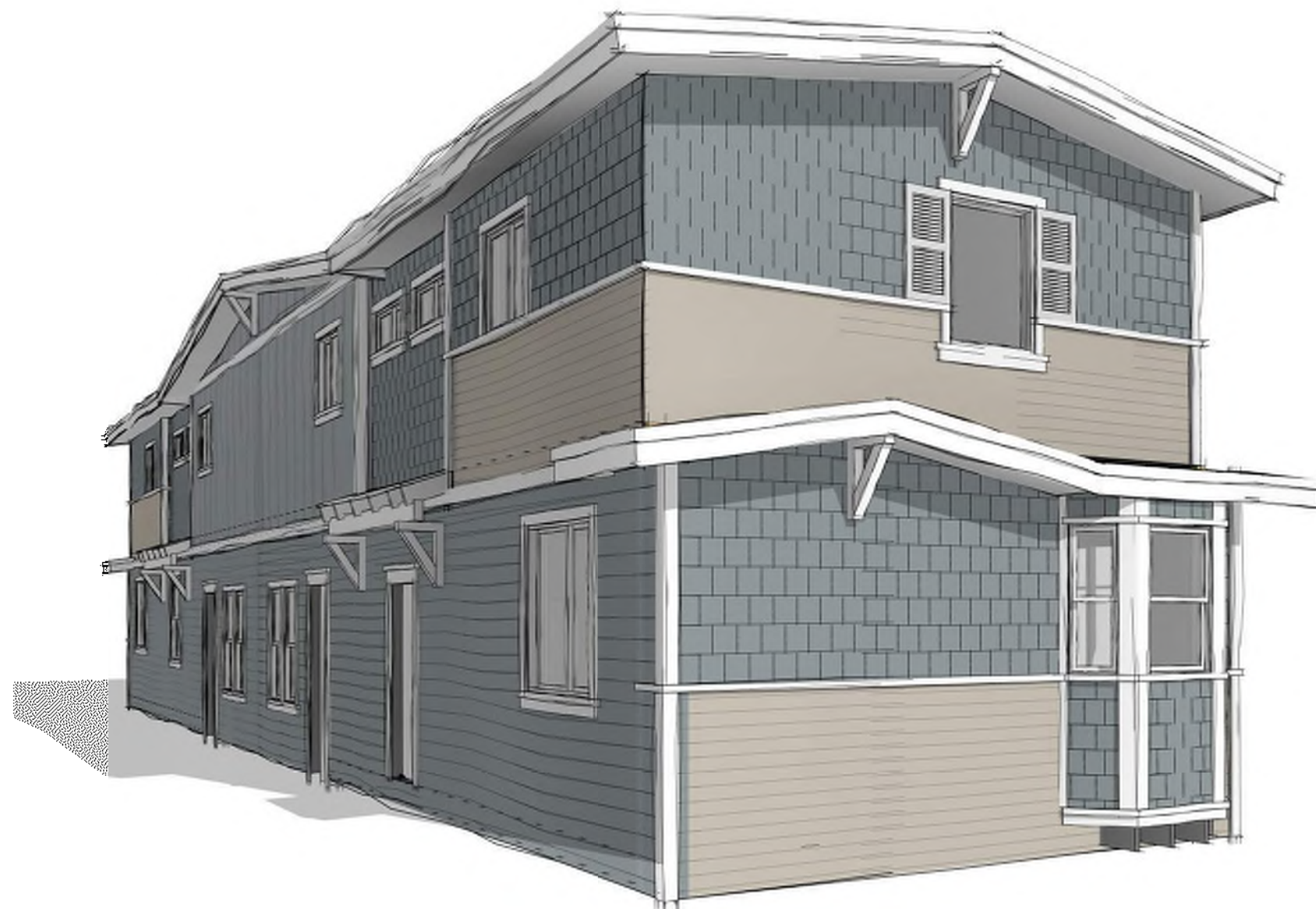
Bar Harbor Blue



COBBLE STONE



Bar Harbor Blue



BOOTHBAY BLUE

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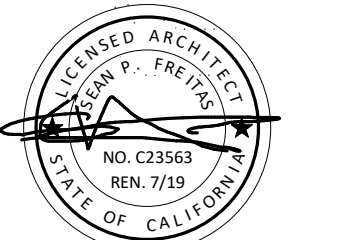
PROJECT: 20190109

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Tel: Email:

NEW PROJECT FOR:
BERTINA & ROBERT MOULES
APN 047-208-100
EL GRANADA, CA 94018

TITLE: PERSPECTIVES
ISSUES: Project Issue Date: 02/25/19
Project Status: SCHEMATIC DESIGN
Sheet Issue Date: 11/28/17
Revision Number:
Revision Date:

ARCHITECT'S APPROVAL:

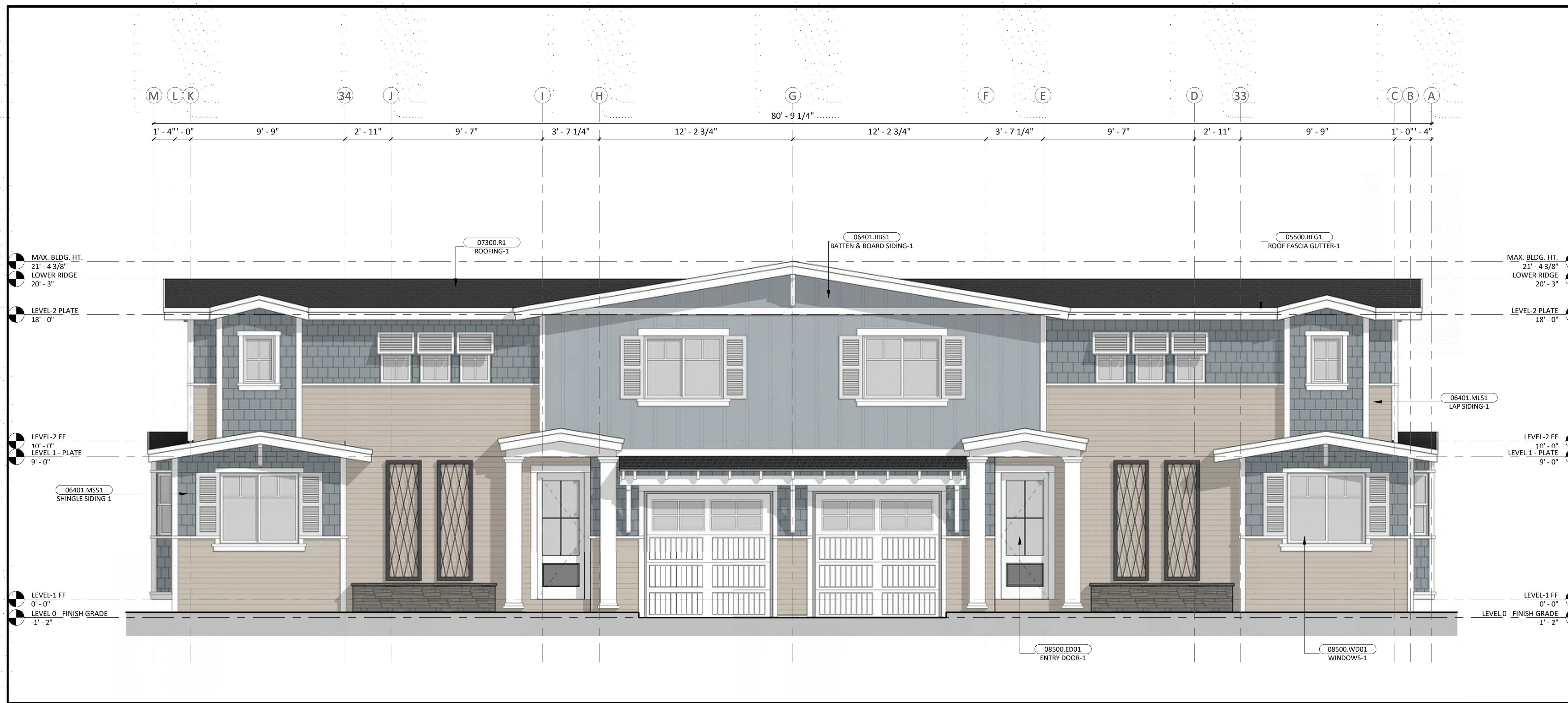


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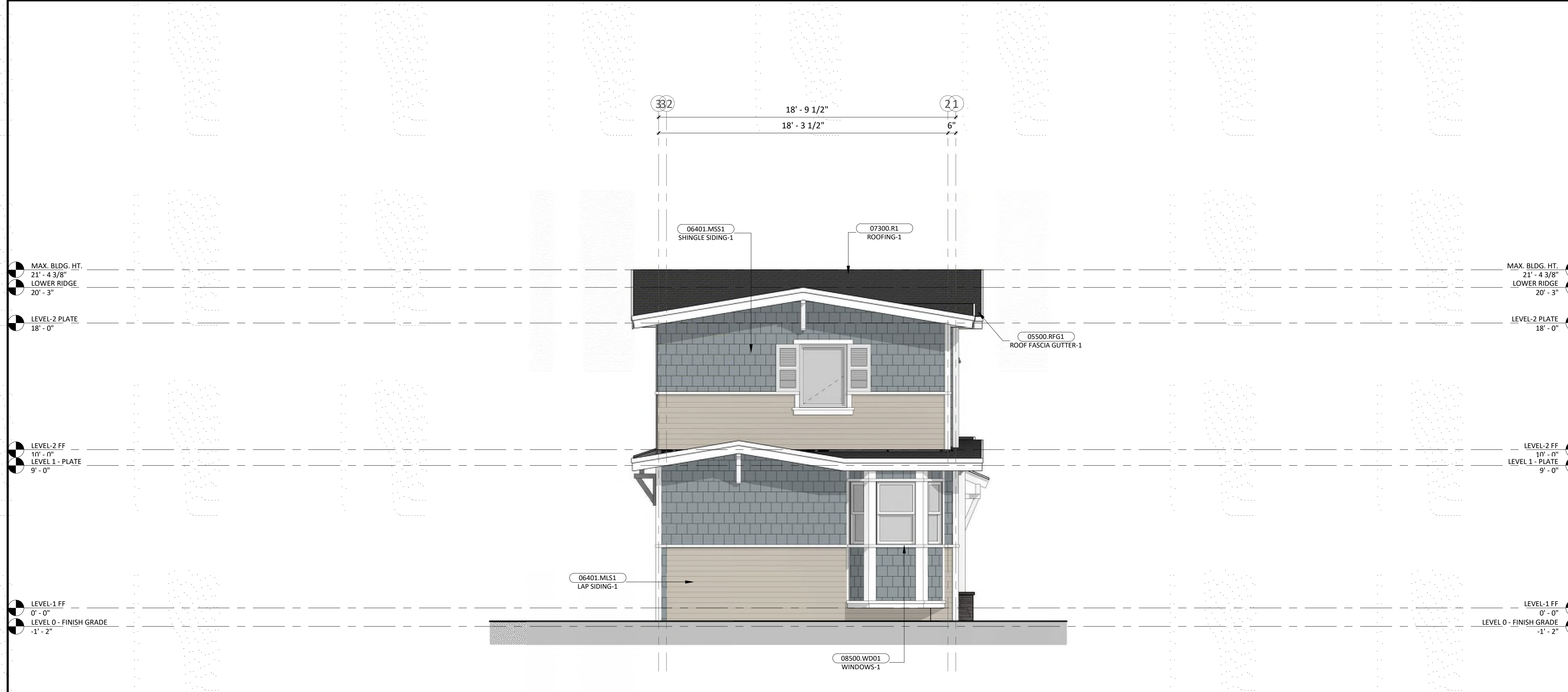
SHEET:

A7.00

SHEET: 9 OF 20 SHEETS



0 2' 4' 8' EXTERIOR ELEVATION - SOUTH SCALE 1/4" = 1'-0" 1



0 2' 4' 8' EXTERIOR ELEVATION - WEST SCALE 1/4" = 1'-0" 2

LEGEND: ELEVATIONS EXTERIOR

07300.R1	ROOFING-1: ASPHALT SHINGLES (AS SELECTED BY OWNER)
05500.RFG1	ROOF FASCIA GUTTER-1: SEE ROOF PLAN
08500.WD01	WINDOWS-1: AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE WINDOW SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. 4" TRIM @ WINDOWS TYP. UNO
08500.DR01	DOORS-1: AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.
08500.ED01	ENTRY DOOR-1: AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE.
06401.MLS1	LAP SIDING-1: FIBER CEMENT HARDIEPLANK LAP SIDING "SELECT CEDARMILL" OVER 2-LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.
06401.MSS1	SHINGLE SIDING-1: FIBER CEMENT HARDIESHINGLE, "STAGGERED EDGE" SIDING OVER 2-LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.
06401.BBS1	BATTEN & BOARD SIDING-1: FIBER CEMENT BATTEN & BOARD OVER 2-LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.
06401.SFO1	SOFFIT-1: HARDESOFFIT PANELS, VENTED/NON-VENTED "CEDARMILL"

GENERAL NOTES

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PROJECT: 20190109

CLIENT:
ROBERT & BERTINA MOULES
APN 047-208-100
EL GRANADA, CA 94018
Tel:
Email:

**NEW PROJECT FOR:
BERTINA & ROBERT MOULES
APN 047-208-100
EL GRANADA, CA 94018**

TITLE:
EXTERIOR ELEVATIONS

ISSUES:
Project Issue Date: 02/25/19
Project Status: SCHEMATIC DESIGN
Sheet Issue Date: 11/28/17
Revision Number:
Revision Date:

ARCHITECT'S APPROVAL:

SEAN FREITAS
ARCHITECT
NO. C23563
REN. 7/19
STATE OF CALIFORNIA

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SHEET:
A7.11
SHEET: 11 OF 20 SHEETS

SEAN FREITAS ARCHITECT

FreitasAIA.com

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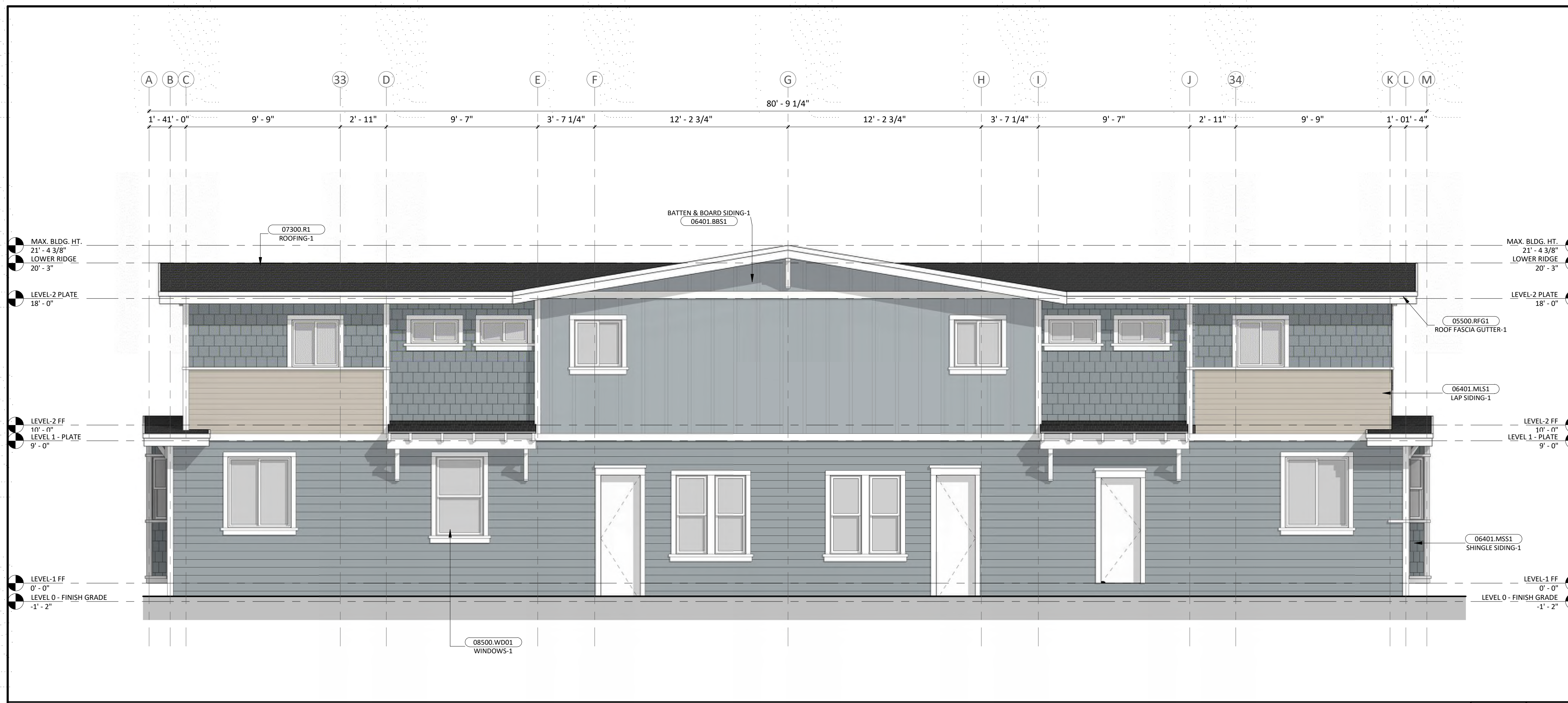
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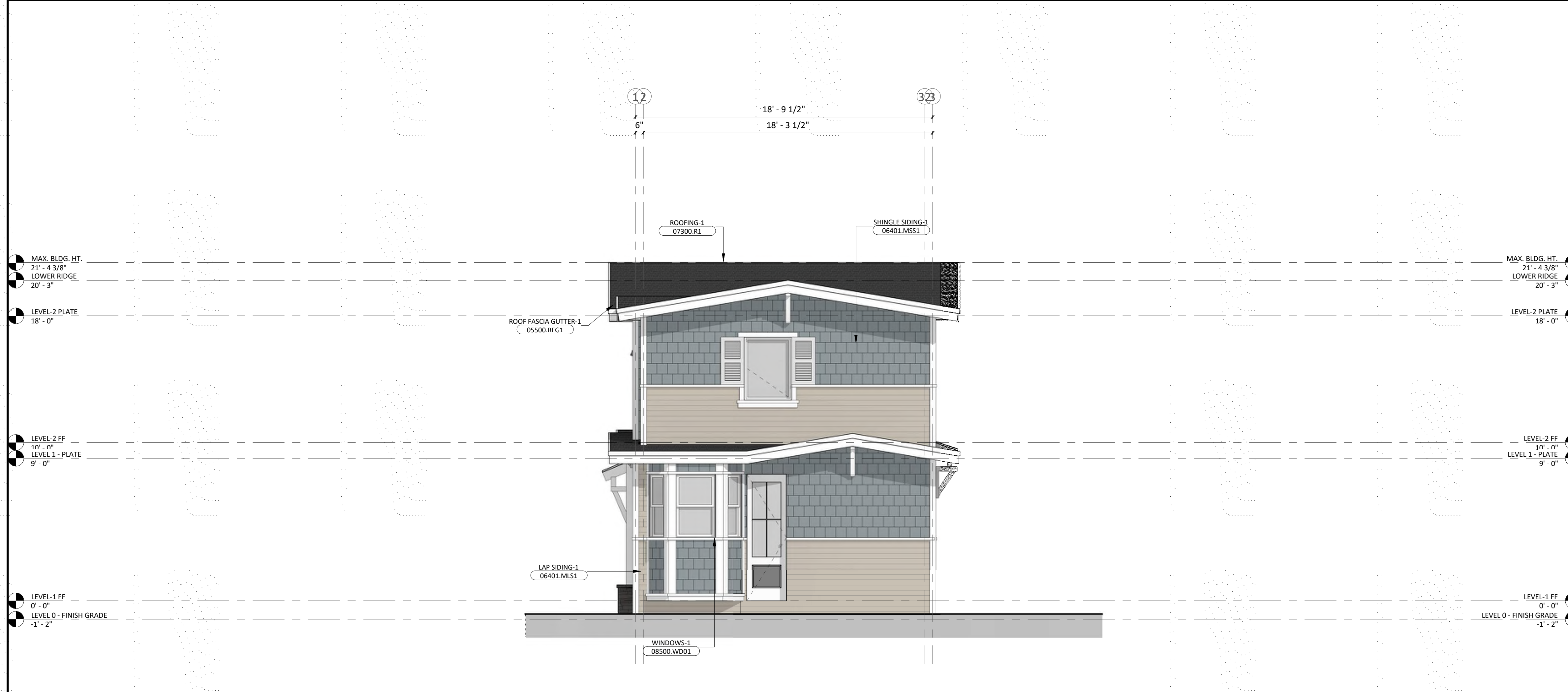
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0 2' 4' 8' EXTERIOR ELEVATION - NORTH SCALE 1/4" = 1'-0" 2



0 2' 4' 8' EXTERIOR ELEVATION - EAST SCALE 1/4" = 1'-0" 1

LEGEND: ELEVATIONS EXTERIOR

07300.R1	ROOFING-1: ASPHALT SHINGLES (AS SELECTED BY OWNER)
05500.RFG1	ROOF FASCIA GUTTER-1: SEE ROOF PLAN
08500.WD01	WINDOWS-1: AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE WINDOW SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. 4" TRIM @ WINDOWS TYP. UNO
08500.DR01	DOORS-1: AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.
08500.ED01	ENTRY DOOR-1: AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE.
06401.MLS1	LAP SIDING-1: FIBER CEMENT HARDIE PLANK LAP SIDING "SELECT CEDARMILL" OVER 2-LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.
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