

Planning and Building Department

County Government Center ■ 455 County Center ■ Redwood City CA 94063
Mail Drop PLN 122 ■ 650 ■ 363 ■ 4161 ■ FAX 650 ■ 363 ■ 4849

Application for Design Review by the County Coastside Design Review Committee

Permit #: PLN _____

Other Permit #: _____

1. Basic Information

Applicant:

Name: Bruce Gehrels
Address: 3378 Brittan St.
San Carlos, Ca Zip: 94070
Phone,W: (650) 283-0942 H:
Email: cks.environmental@post.com

Owner (if different from Applicant):

Name: Thomas Carey Trustee
Address: 1580 Laurel St, Ste C
San Carlos, Ca Zip: 94070
Phone,W: (650) 394-8615 H:
Email:

Architect or Designer (if different from Applicant):

Name: Kellond Architects
Address: 14510 Big Basin Way, Ste. 205, Saratoga, Ca Zip: 95070
Phone,W: (408) 741-0600 H: Email:

2. Project Site Information

Project location:

APN: 048-013-790
Address: No Situs; Cortez Ave at 1st Ave, Miramar
Zip:
Zoning: R-1/S-94
Parcel/lot size: 7,446 sq. ft.

Site Description:

[X] Vacant Parcel
[X] Existing Development (Please describe):
Improved w/ all utilities & street improvements

3. Project Description

Project:

- [X] New Single Family Residence: 2,601 sq. ft
[] Addition to Residence: sq. ft
[X] Other: A.D.U. 367 s.f.
Garage 462 s.f.

Describe Project:

Additional Permits Required:

- [X] Certificate of Compliance Type A or Type B
[X] Coastal Development Permit
[] Fence Height Exception (not permitted on coast)
[] Grading Permit or Exemption
[] Home Improvement Exception
[] Non-Conforming Use Permit
[] Off-Street Parking Exception
[] Variance

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish	Check if matches existing
		(If different from existing, attach sample)	
a. Exterior walls	as noted in plans		<input type="checkbox"/>
b. Trim	as noted in plans		<input type="checkbox"/>
c. Windows	as noted in plans		<input type="checkbox"/>
d. Doors	as noted in plans		<input type="checkbox"/>
e. Roof	as noted in plans		<input type="checkbox"/>
f. Chimneys	as noted in plans		<input type="checkbox"/>
g. Decks & railings	as noted in plans		<input type="checkbox"/>
h. Stairs			<input type="checkbox"/>
i. Retaining walls			<input type="checkbox"/>
j. Fences	as noted in plans		<input type="checkbox"/>
k. Accessory buildings	as noted in plans		<input type="checkbox"/>
l. Garage/Carport	as noted in plans		<input type="checkbox"/>

5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

(optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

T.J. Carey, Trustee
Bruce Gehrels

Owner:
Applicant:

5/28/2021
5/28/2021

Date:
Date:

4. Project Information

Does this project, the parcel on which it is located or the immediate vicinity involve or include:

- | | Yes | No |
|--|-------------------------------------|-------------------------------------|
| a. Demolition of existing housing units?
(If yes, give value of owner-occupied units or current monthly rent of rental units in explanation below.) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b. Creeks, streams, lakes or ponds? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c. Wetlands (marshes, swamps, mudflats)? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d. Beaches? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e. Sand Dunes? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| f. Sea cliff, coastal bluffs or blufftops? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| g. Ridgetops? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| h. Pampas Grass, invasive brooms or Weedy Thistle? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| i. Removal of trees or vegetation? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| j. Grading or alteration of landforms? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| k. Landscaping? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| l. Signs? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| m. Phone or utility line extensions or connections, either above or below ground (explain which)? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| n. Areas subject to flooding? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| o. Development on slopes 30% or steeper? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

- | | | |
|--|--------------------------|-------------------------------------|
| p. Between the sea and the nearest public road? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| q. Existing or proposed provisions for public access to the shoreline? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| r. Public or commercial recreation facilities? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| s. Visitor-serving facilities? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| t. Existing or proposed public trail easements? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Explain all Yes answers below. Indicate whether the item applies to the project itself, the parcel on which it is located, or the immediate vicinity (attach additional sheets if necessary):

K.) Landscaping: Required by SMCO for new residence

5. Staff Use Only

California Coastal Commission Jurisdiction

A. Does the Proposed Project Involve:

- A subdivision, Certificate of Compliance Type B, Use Permit, or Planned Agricultural District Permit?
 Yes No
- Construction or grading within 100 feet of a stream or wetland?
 Yes No
- A parcel located between the sea and the first public through road paralleling the sea; 300 feet from the inland extent of any beach or mean high tide line if there is no beach; or within 300 feet of the top of the seaward face of a coastal bluff?
 Yes No

Yes to any one of the above means that the Coastal Development Permit is appealable to the Coastal

Commission; a public hearing is always required.

B. Does the proposed project involve lands below the mean high tide line and lands where the public trust may exist? (See "Post CCP Certification Permit and Appeal Jurisdiction Map).

- Yes No

Yes to above means that the California Coastal Commission retains permit jurisdiction over all or part of the proposed project. A Coastal Development Permit from that agency is required.

Reviewed by:

Planning and Building Department

455 County Center, 2nd Floor ■ Redwood City CA 94063
Mail Drop: PLN 122 ■ TEL (650) 363-4161 ■ FAX (650) 363-4849
www.co.sanmateo.ca.us/planning

Planning Permit Application Form

PLN:
BLD:

Applicant/Owner Information

Applicant: Bruce Gehrels
Mailing Address: 3378 Brittan St.
San Carlos, California Zip: 94070
Phone,W: 6502830942 H:
E-mail Address: cks.environmental@post.com FAX:

Name of Owner (1): Thomas Carey Trustee
Mailing Address: 1580 Laurel St, Ste.C
San Carlos, California
California Zip: 94070
Phone,W: 6503948615
H:
E-mail Address:
Name of Owner (2):
Mailing Address:
Zip:
Phone,W:
H:
E-mail Address:

Project Information

Project Location (address):
No Situs, Cortez St @1st AvMiramar
Zoning: R1/S-94
Assessor's Parcel Numbers: 48 — 13 — 790
Parcel/lot size: 7,446 SF (Square Feet)

List all elements of proposed project: (e.g. access, size and location, primary and accessory structures, well, septic, tank)

Single-Family Dwelling, 2,601 sq.ft. ; Accessory Dwelling Unit, 367 sq. ft.
Planning : Design Review, Coastside; CEQA Exemption.

Describe Existing Site Conditions/Features (e.g. topography, water bodies, vegetation):
Vacant level Lot, no vegetation, no trees.

Describe Existing Structures and/or Development:
No structures; All utilities & improved street present at site.

Signatures

We hereby certify that the information stated above and on forms, plans and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's signature:
Owner's signature:
Applicant's signature:

Application for a Coastal Development Permit

Companion Page

455 County Center , 2nd Floor • Redwood City, CA 94063
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

Applicant's Name: **Bruce Gehrels**
Primary Permit #:

1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Coastal Development Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

2. Basic Information

Does the owner or applicant own any adjacent property not listed?
 Yes No

If yes, list Assessor's Parcel Number(s):

Have you or anyone else previously applied to either the County of San Mateo or the California Coastal Commission for a Coastal Development Permit for this or a similar project at this location?
 Yes No

If yes, explain (include date and application file numbers).

3. Materials and Finish of Proposed Buildings or Structures

Note: By completing this section you do not need to file a separate application for Design Review Approval.

Fill in Blanks:	Material	Color/Finish	Check if matches existing
a. Exterior Walls	per Plans	_____	<input type="checkbox"/>
b. Trim	per Plans	_____	<input type="checkbox"/>
c. Roof	per Plans	_____	<input type="checkbox"/>
d. Chimneys	per Plans	_____	<input type="checkbox"/>
e. Accessory Buildings	per Plans	_____	<input type="checkbox"/>
f. Decks/Stairs	n/a	_____	<input type="checkbox"/>
g. Retaining Walls	n/a	_____	<input type="checkbox"/>
h. Fences	per Plans	_____	<input type="checkbox"/>
i. Storage Tanks	n/a	_____	<input type="checkbox"/>

EXTERIOR COLORS & MATERIALS

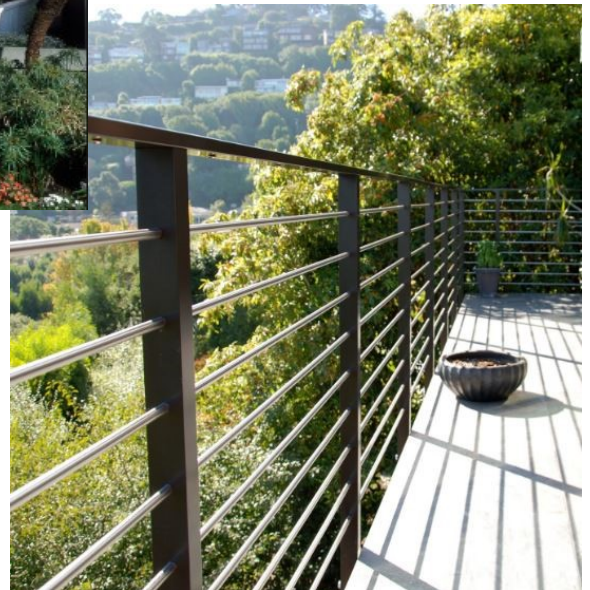
1 & 2



3



4



5

1. Walls : Board & batten @ 2nd floor, painted 'White'
2. Doors & Windows, Trim : Andersen—metal clad, 'White', Painted trim to match
3. Roof : Composition Shingle, Certainteed Landmark TL, 'Thunderstorm Gray'
4. Walls : Wood shingle @ 1st floor, stained—Cabot, 'Mulberry'
5. Metal railing @ deck

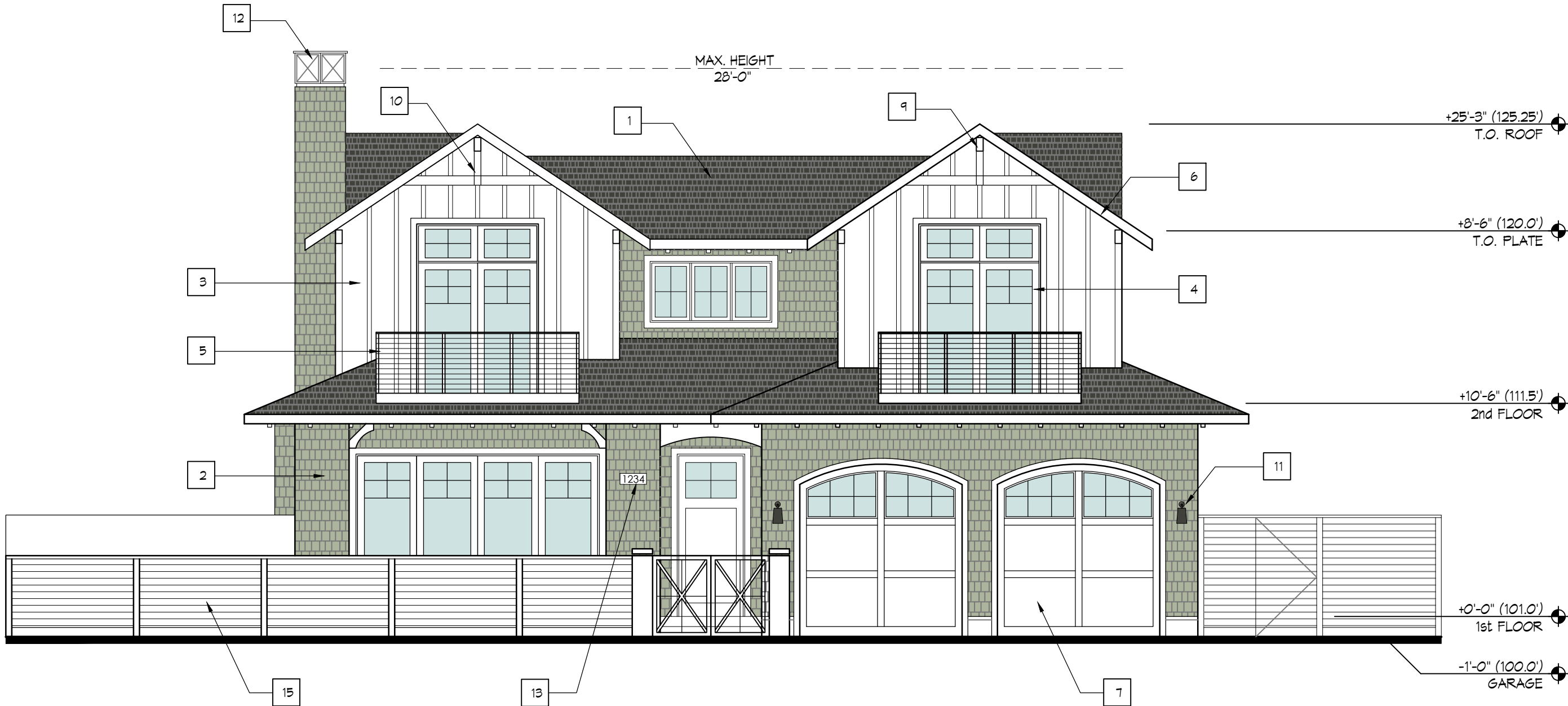
Cortez Ave.

APN : 048-013-790

Half Moon Bay, California

KELLOND ARCHITECTS

FRONT ELEVATION



KEYNOTES

- | | | |
|---|---|---|
| <p>1 COMPOSITION SHINGLE ROOF
CERTAINTED LANDMARK TL, 'THUNDERSTORM GRAY'</p> <p>2 WOOD SHINGLE SIDING W/ STAINED FINISH
CABOT STAIN - 'MULBERRY'</p> <p>3 BOARD & BATTEN WOOD SIDING W/ PAINTED FINISH
BENJAMIN MOORE, 'WHITE', TO MATCH DOORS/WINDOWS</p> <p>4 WOOD DOORS & WINDOWS W/ METAL CLADDING
ANDERSEN (OR EQUAL) WITH 'WHITE' FINISH</p> <p>5 METAL RAILING @ DECK</p> | <p>6 TRIM, FASCIA & EAVES W/ PAINTED FINISH
BENJAMIN MOORE, 'WHITE', TO MATCH DOORS/WINDOWS</p> <p>7 EXTERIOR WOOD DOOR / GARAGE DOOR WITH PAINTED FINISH
BENJAMIN MOORE, 'WHITE', TO MATCH DOORS/WINDOWS</p> <p>8 PORCH POST, PAINTED TO MATCH TRIM</p> <p>9 DECORATIVE OUTRIGGER, PAINTED TO MATCH TRIM</p> <p>10 WOOD BRACKET, PAINTED TO MATCH TRIM</p> | <p>11 WALL MOUNTED 'DARK SKY' LIGHT FIXTURE</p> <p>12 DECORATIVE METAL CHIMNEY CAP
PAINT TO MATCH TRIM</p> <p>13 ILLUMINATED ADDRESS NUMBERS</p> <p>14 PROPOSED FIRE BELL LOCATION</p> <p>15 WOOD FENCE W/ WHITE PAINTED FINISH</p> |
|---|---|---|

FRONT DOOR

11/6/21, 9:29 AM

Design Tool | Andersen Windows



PANEL STYLE #402 ARTS AND CRAFTS



Interior



Exterior

Summary

Configuration	Single Door
Interior Color	White
Glass	Low-E4® Glass
Hardware	Albany, Black
Grille Pattern	Specified Equal Light
Grille Width	1 1/8"
Exterior	Colony White

LOVE THE LIFE YOU SEE™

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<https://www.andersenwindows.com/ideas-and-inspiration/design-tool/#022e245f-1002-40fb-84fe-64fa6e744f51/7?configuration=Single Door&frameC...> 1/2

Cortez Ave.

APN : 048-013-790

Half Moon Bay, California

KELLOND ARCHITECTS

GARAGE DOOR



Semi-Custom Garage door by Ranch House Doors
Similar to RHD# 087 with arched top and windows

Cortez Ave.

APN : 048-013-790

Half Moon Bay, California

KELLOND ARCHITECTS

EXTERIOR WALL MOUNTED LIGHT FIXTURE

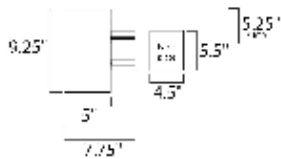
Lightray | 6101ABZ

Job Name: _____ Job Type: _____ Quantity: _____ Comments: _____



PRODUCT DESCRIPTION

Indirect exterior lighting not only provides illumination where you want it but also highlights the building structure for a beautiful architectural effect. Our collection of up and down lighting fixtures are available in both Architectural Bronze and Brushed Aluminum. They are also available in both Incandescent and LED. The fixtures are sealed with screw lenses that are water tight and allows, for the use of standard light bulbs.



MEASUREMENTS

DIMENSION : 5" W x 9.25" H x 7.75" Ext
BACK PLATE : 4.5" W x 5.5" H x 5.25" HCO
HANGING WEIGHT : 3.99 lb

LAMPING

INPUT VOLTAGE : 120V
BULB : 1 x 75W Incandescent E26 Medium , 75W Total
BULB INCLUDED : (Not Included)
DIMMABLE : Yes

FINISHES OPTION

Architectural Bronze X
 Brushed Aluminum

MATERIAL
 Aluminum

RATINGS

cETLus
 Wet Location
 DARKSKY



ADDITIONAL

INSTALL UP/DOWN: All
 OPERATING TEMPERATURE:
 -20°C (-4°F), 40°C (104°F)

Always consult a qualified electrician before installing any lighting product.



WESTERN DISTRIBUTION CENTER (HEADQUARTER)
 253 NORTH VINELAND AVE | CITY OF INDUSTRY, GA 30174

EASTERN DISTRIBUTION CENTER
 4200 SHIRLEY DR. | ATLANTA, GA 30336

P. 424.956.4200 | F. 424.956.4225 | maximlighting.com

Cortez Ave.

APN : 048-013-790

Half Moon Bay, California

KELLOND ARCHITECTS

PROPOSED NEW RESIDENCE & A.D.U.

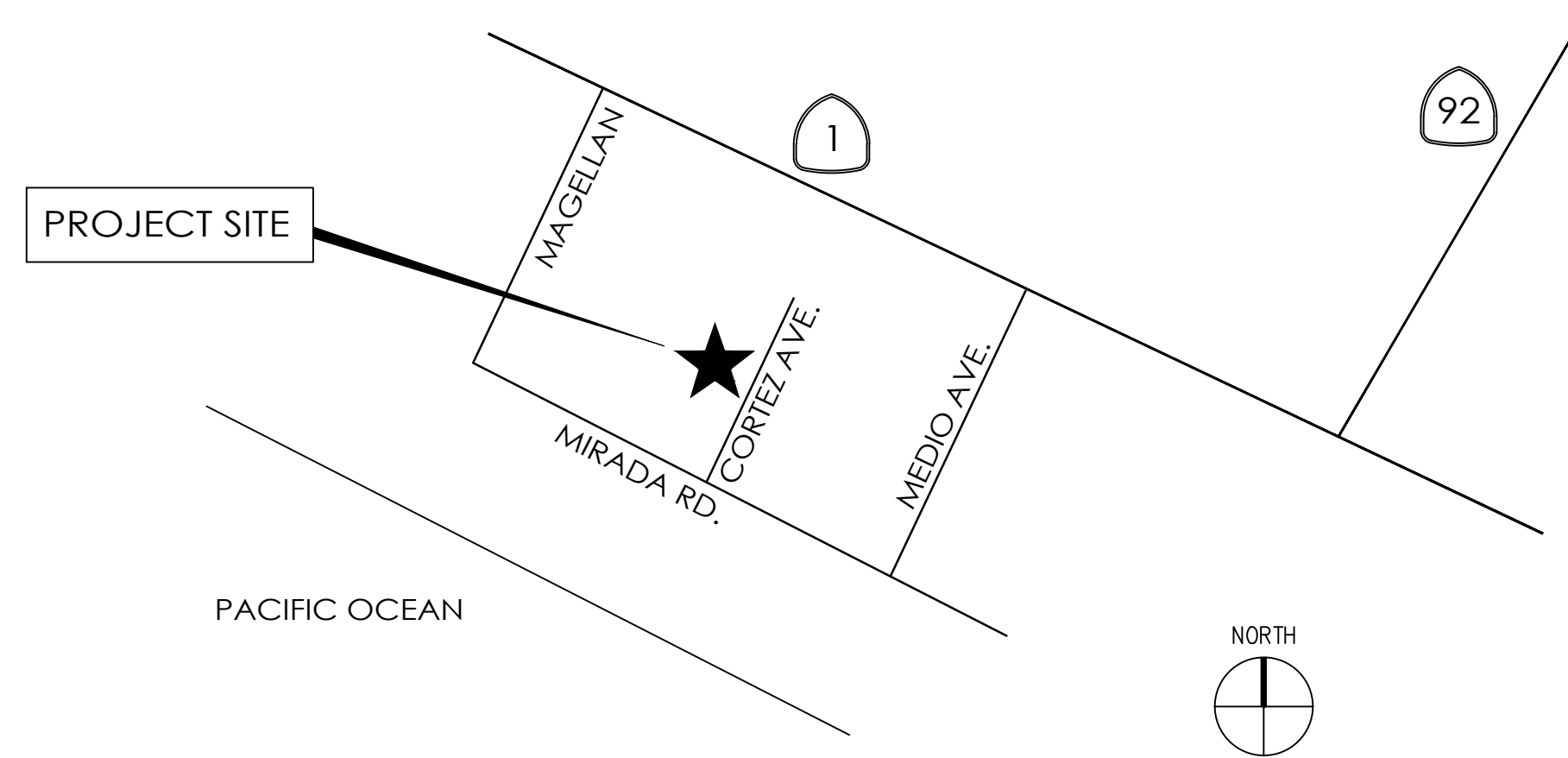
APN: 048-013-790

Cortez Ave. Half Moon Bay, CA 94019

SHEET INDEX

- SD-1 PROJECT INFO & ARCHITECTURAL SITE PLAN
- C-0 TOPOGRAPHIC SURVEY
- SD-2.1 FLOOR PLANS
- SD-2.2 ROOF PLAN
- SD-3 EXTERIOR ELEVATIONS
- SD-4 A.D.U. PLAN & ELEVATIONS
- SD-5 SECTIONS
- SD-6 FLOOR AREA & COVERAGE
- C-1 GRADING & DRAINAGE PLAN
- C-2 EROSION & SEDIMENT CONTROL PLAN
- BEST MANAGEMENT PRACTICES
- L-1.1 LANDSCAPE PLAN
- L-2.1 LANDSCAPE IRRIGATION PLAN

PROJECT LOCATION



PROJECT DATA

ZONING	R-1/S-94
SITE AREA	7,446 S.F.
ALLOWABLE FLOOR AREA	3,574 S.F. (48% OF SITE AREA)
PROJECT FLOOR AREA	3,460 S.F. (46% OF SITE AREA)
ALLOWABLE COVERAGE	2,233.8 S.F. (30% OF SITE AREA)
PROJECT COVERAGE	2,233 S.F. (30% OF SITE AREA)
ALLOWABLE IMPERVIOUS	744.6 S.F. (10% OF SITE AREA)
PROJECT IMPERVIOUS	596 S.F. (8% OF SITE AREA)

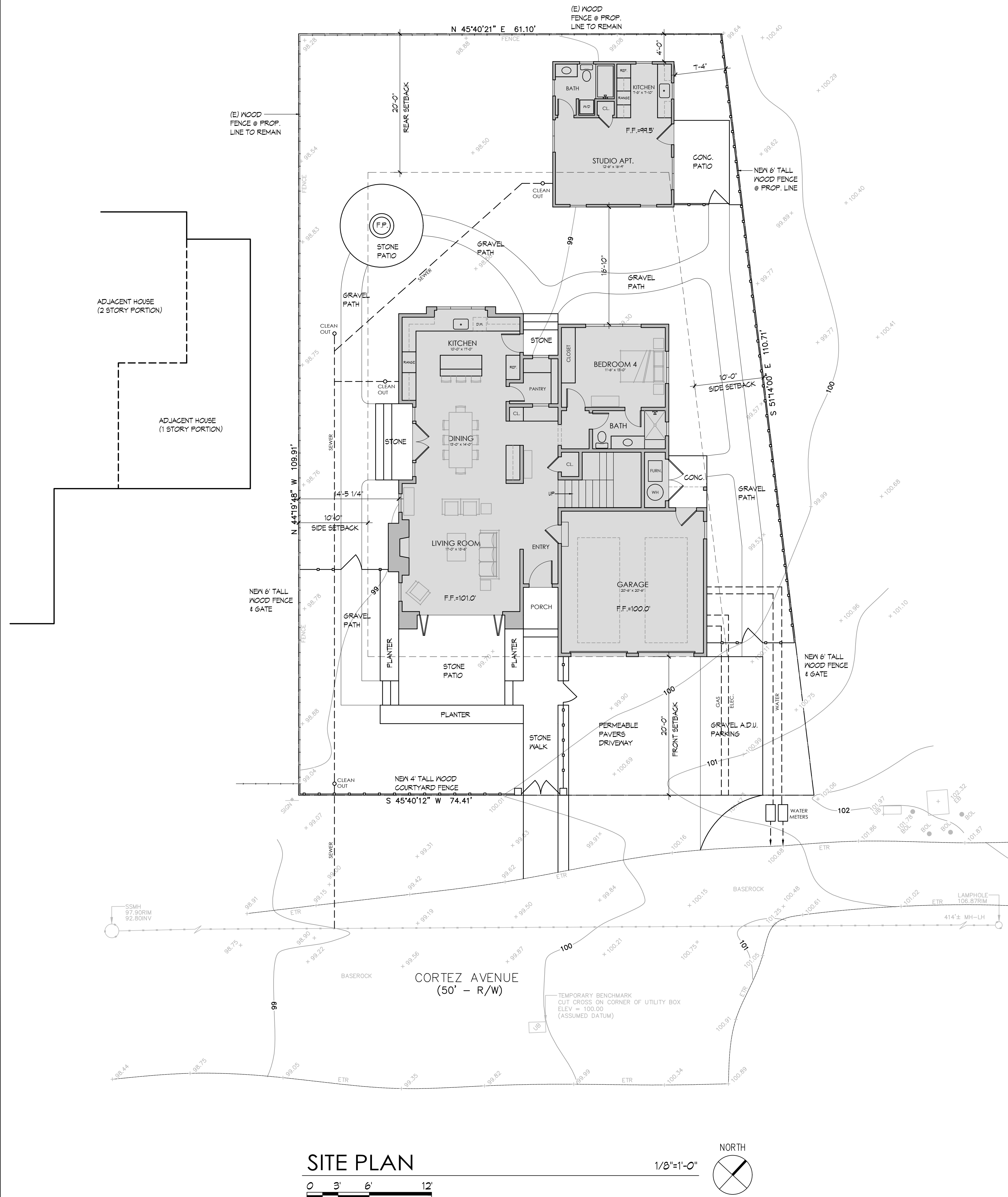
FLOOR AREA - LIVING	
FIRST FLOOR - LIVING	1,370 S.F.
SECOND FLOOR - LIVING	1,261 S.F.
TOTAL - LIVING	2,631 S.F.

FLOOR AREA - GARAGE	462 S.F.
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FLOOR AREA - A.D.U.	367 S.F.
---------------------	----------

SITE COVERAGE	
TOTAL	2,233 S.F.
(BUILDING FOOTPRINTS & PORCHES)	

IMPERVIOUS SURFACE	
TOTAL	596 S.F.
(PATIOS, FRONT WALK)	



Kellond Architects

14510 Big Basin Way, #205
Saratoga, California 95070

408.741.0600 ph.
408.741.0610 fax

www.kellondarchitects.com

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PROJECT

New Residence
APN: 048-013-790
Cortez Ave.
Half Moon Bay, CA 94019

SHEET TITLE

SITE PLAN

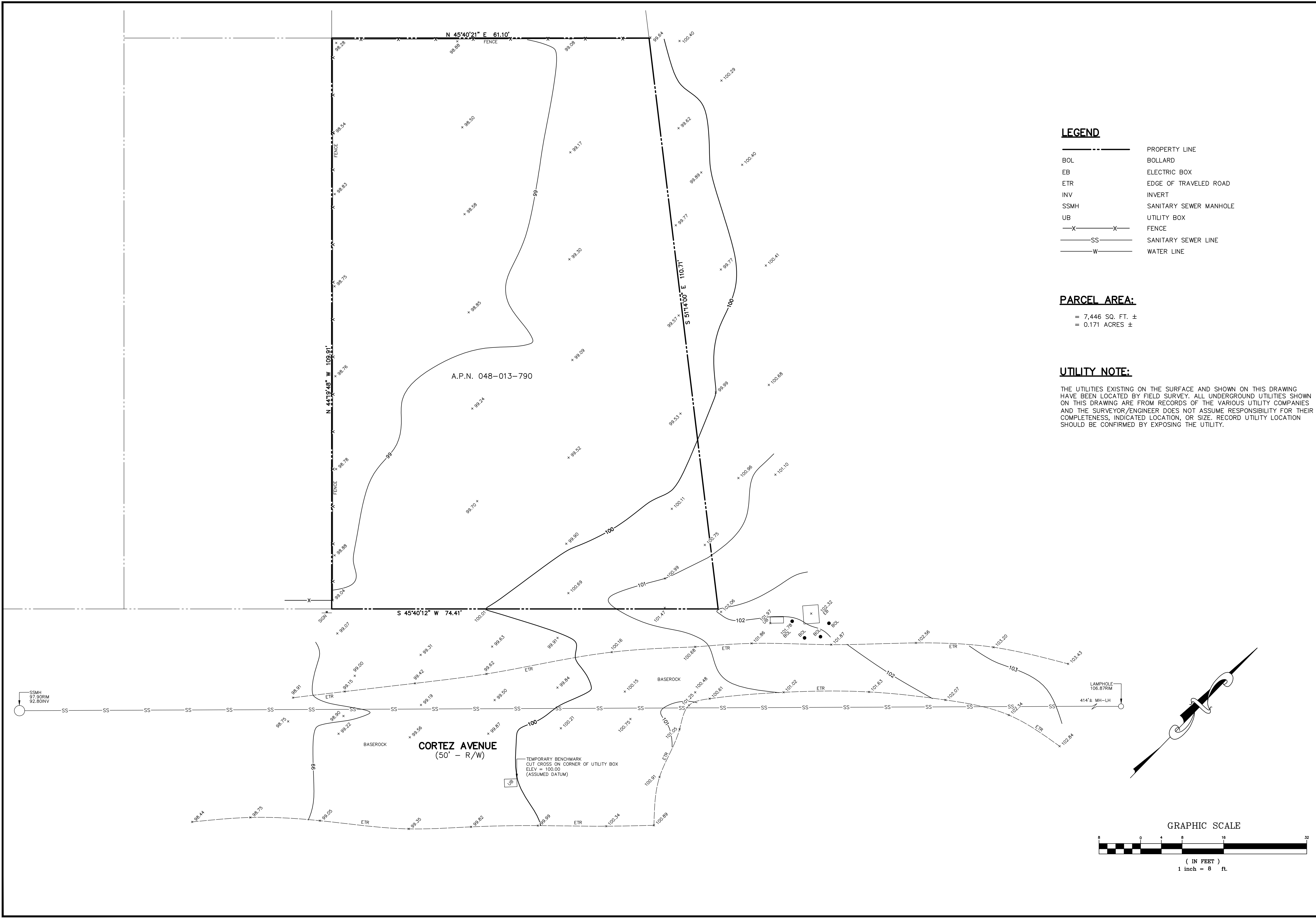
REVISIONS

No.	Date	Notes

PROJECT #: 2020.09

DATE: NOV 2021

SHEET #: SD-1

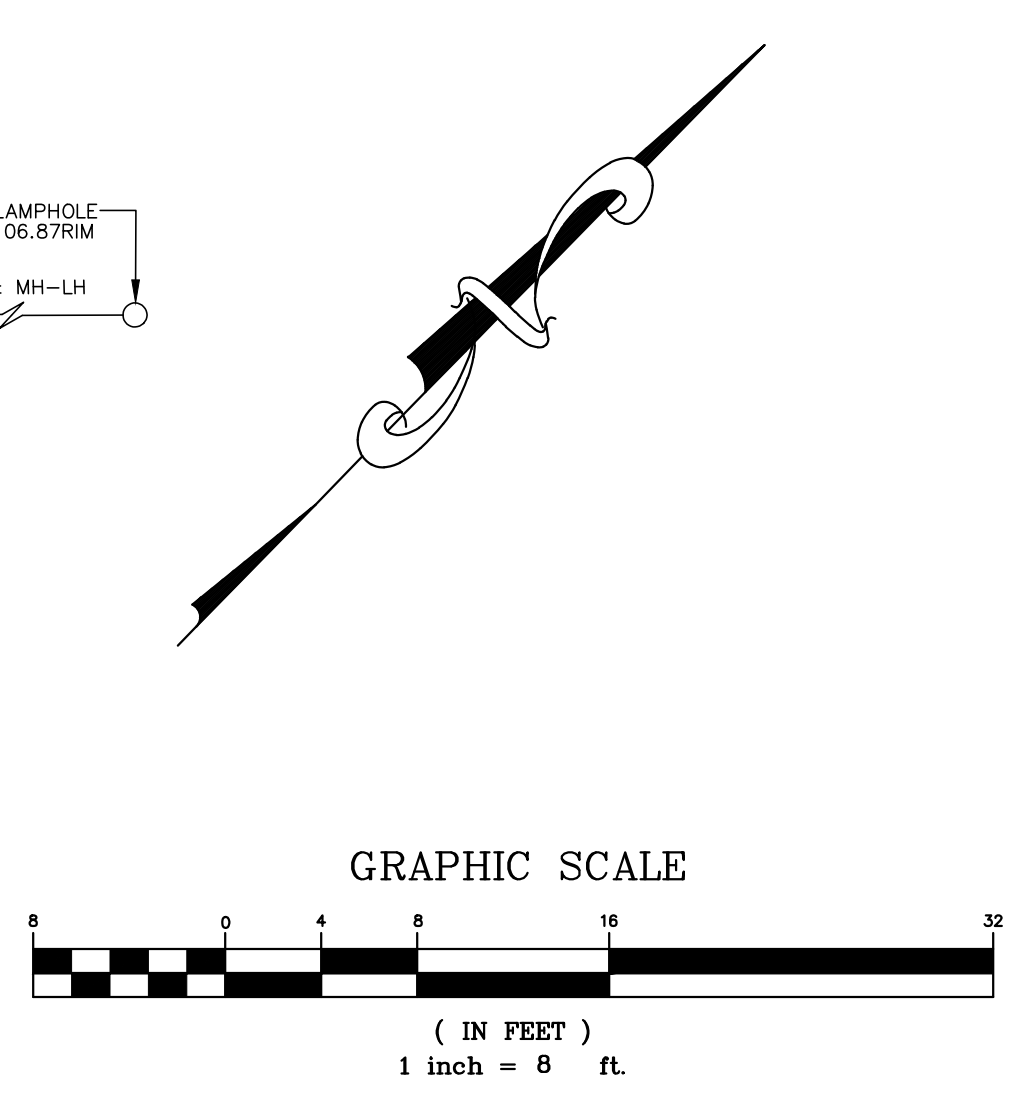


LEGEND

---	PROPERTY LINE
BOL	BOLLARD
EB	ELECTRIC BOX
ETR	EDGE OF TRAVELED ROAD
INV	INVERT
SSMH	SANITARY SEWER MANHOLE
UB	UTILITY BOX
-X-X-	FENCE
-SS-	SANITARY SEWER LINE
-W-	WATER LINE

PARCEL AREA:
 = 7,446 SQ. FT. ±
 = 0.171 ACRES ±

UTILITY NOTE:
 THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR/ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.



	DATE: _____
	BY: _____
	DESCRIPTION
	REV. _____
MACLEOD AND ASSOCIATES CIVIL ENGINEERING • LAND SURVEYING 965 CENTER STREET • SAN CARLOS, CA 94070 • (650) 593-8580	
PREPARED FOR: TOM CAREY	BOUNDARY AND TOPOGRAPHIC SURVEY PLAN CORTEZ AVENUE A.P.N. 048-013-790 LOTS 14 & 15, BLOCK 7, 3 MAPS, 95 MERGED BY DOC. NO. 84006937 UNINCORPORATED SAN MATEO COUNTY CALIFORNIA
DRAWN BY: DPM DESIGNED BY: --- CHECKED BY: DGM SCALE: 1"=8' DATE: 04/29/20 DRAWING NO. 4783-TOPO SHEET 1 OF 1	

Kellond Architects

14510 Big Basin Way, #205
Saratoga, California 95070

408.741.0600 ph.
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PROJECT

New Residence
APN: 048-013-790
Cortez Ave.
Half Moon Bay, CA 94019

SHEET TITLE

ROOF PLAN

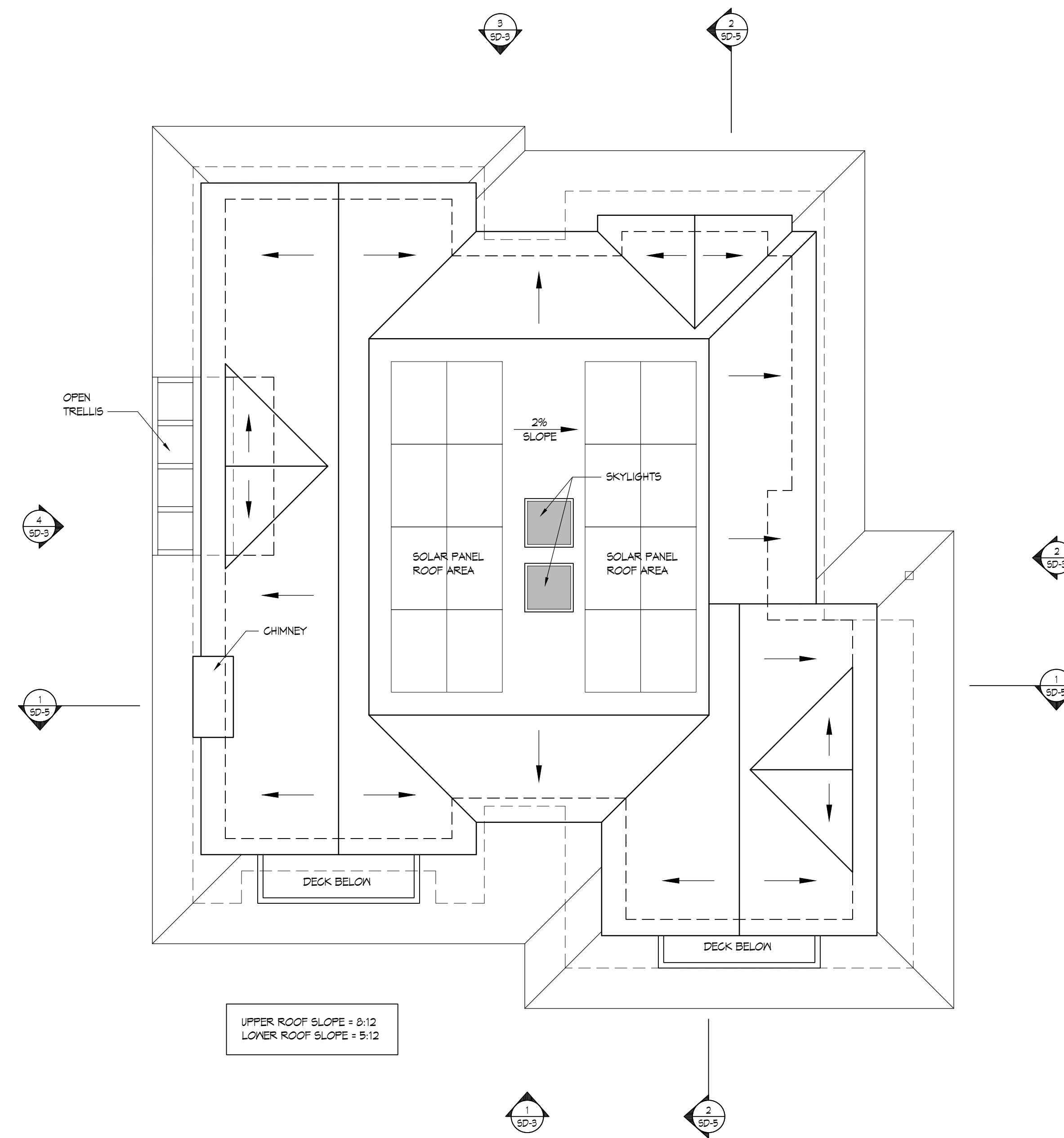
REVISIONS

No.	Date	Notes

PROJECT #: 2020.09

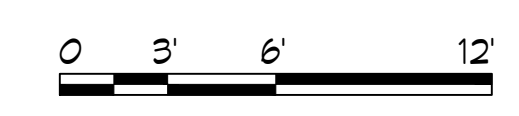
DATE: APRIL 2021

SHEET #: SD-2.2

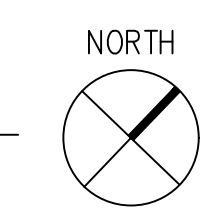


UPPER ROOF SLOPE = 8:12
LOWER ROOF SLOPE = 5:12

ROOF PLAN



3/16"=1'-0"





1 FRONT ELEVATION (SOUTHEAST) 3/16"=1'-0"
 0 3 6 12



2 SIDE ELEVATION (NORTHEAST) 3/16"=1'-0"



3 REAR ELEVATION (NORTHWEST) 3/16"=1'-0"



4 SIDE ELEVATION (SOUTHWEST) 3/16"=1'-0"

KEYNOTES

- | | | |
|--|--|---|
| 1 COMPOSITION SHINGLE ROOF CERTAINTED LANDMARK TL, THUNDERSTORM GRAY | 6 TRIM, FASCIA & EAVES W/ PAINTED FINISH BENJAMIN MOORE, WHITE, TO MATCH DOORS/WINDOWS | 11 WALL MOUNTED DARK SKY LIGHT FIXTURE |
| 2 WOOD SHINGLE SIDING W/ STAINED FINISH CABOT STAIN - 'MULBERRY' | 7 EXTERIOR WOOD DOOR / GARAGE DOOR WITH PAINTED FINISH BENJAMIN MOORE, WHITE, TO MATCH DOORS/WINDOWS | 12 DECORATIVE METAL CHIMNEY CAP PAINT TO MATCH TRIM |
| 3 BOARD & BATTEN WOOD SIDING W/ PAINTED FINISH BENJAMIN MOORE, WHITE, TO MATCH DOORS/WINDOWS | 8 PORCH POST, PAINTED TO MATCH TRIM | 13 ILLUMINATED ADDRESS NUMBERS |
| 4 WOOD DOORS & WINDOWS W/ METAL GLASSING ANDERSEN (OR EQUAL) WITH WHITE FINISH | 9 DECORATIVE OUTRIGGER, PAINTED TO MATCH TRIM | 14 PROPOSED FIRE BELL LOCATION |
| 5 METAL RAILING @ DECK | 10 WOOD BRACKET, PAINTED TO MATCH TRIM | 15 WOOD FENCE W/ WHITE PAINTED FINISH |

Kellond Architects

14510 Big Basin Way, #205
 Saratoga, California 95070

408.741.0600 ph.
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PROJECT

New Residence
 APN: 048-013-790
 Cortez Ave.
 Half Moon Bay, CA 94019

SHEET TITLE

ELEVATIONS

REVISIONS

No.	Date	Notes

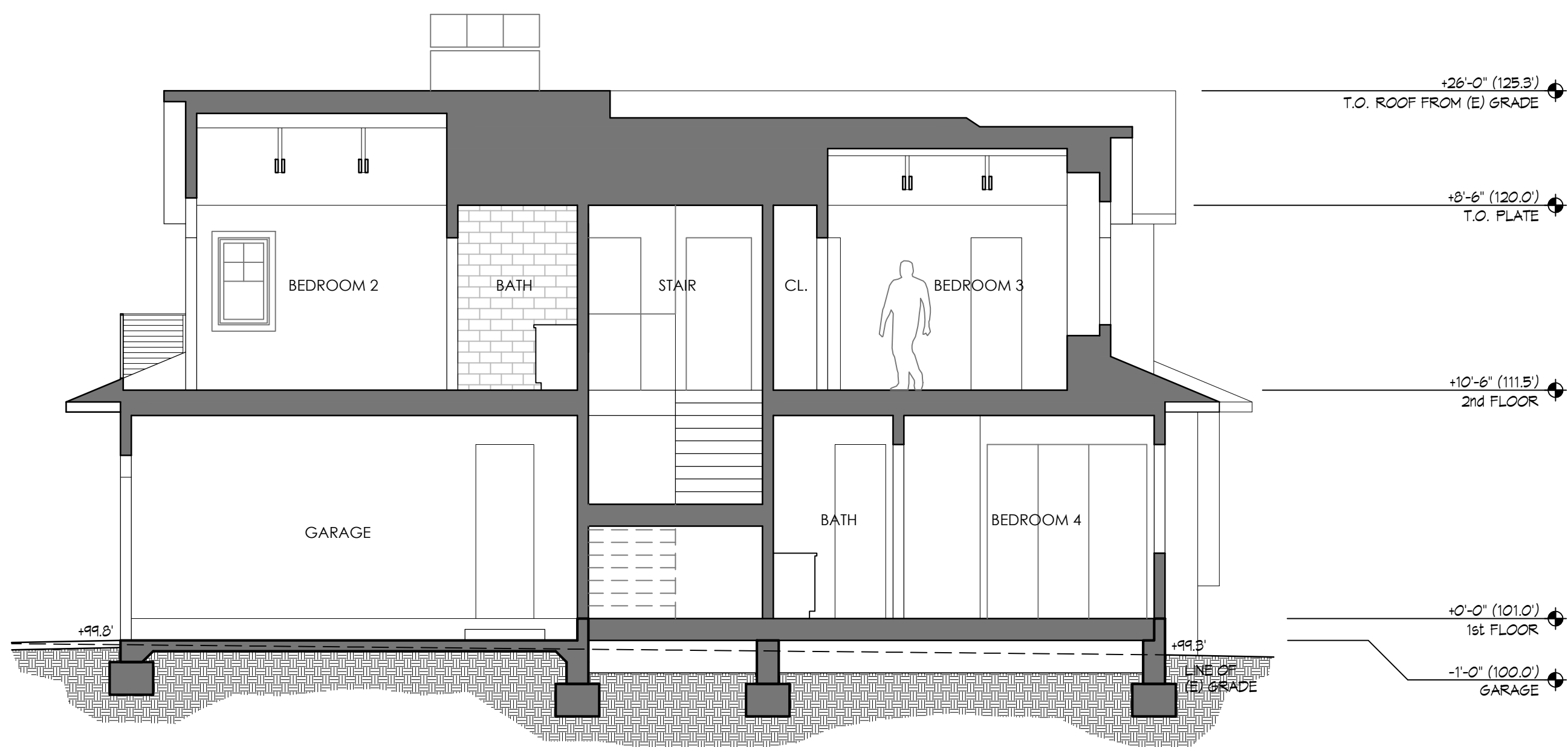
PROJECT #: 2020.09

DATE: APRIL 2021

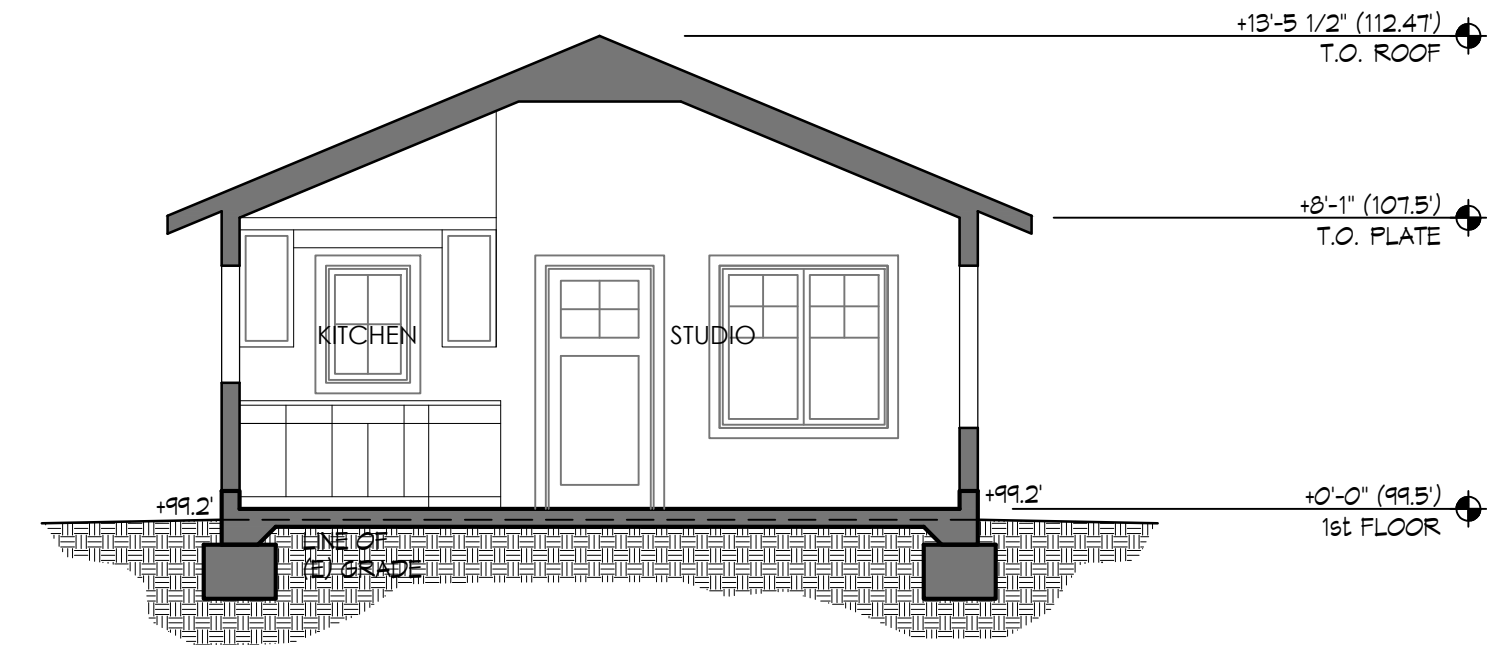
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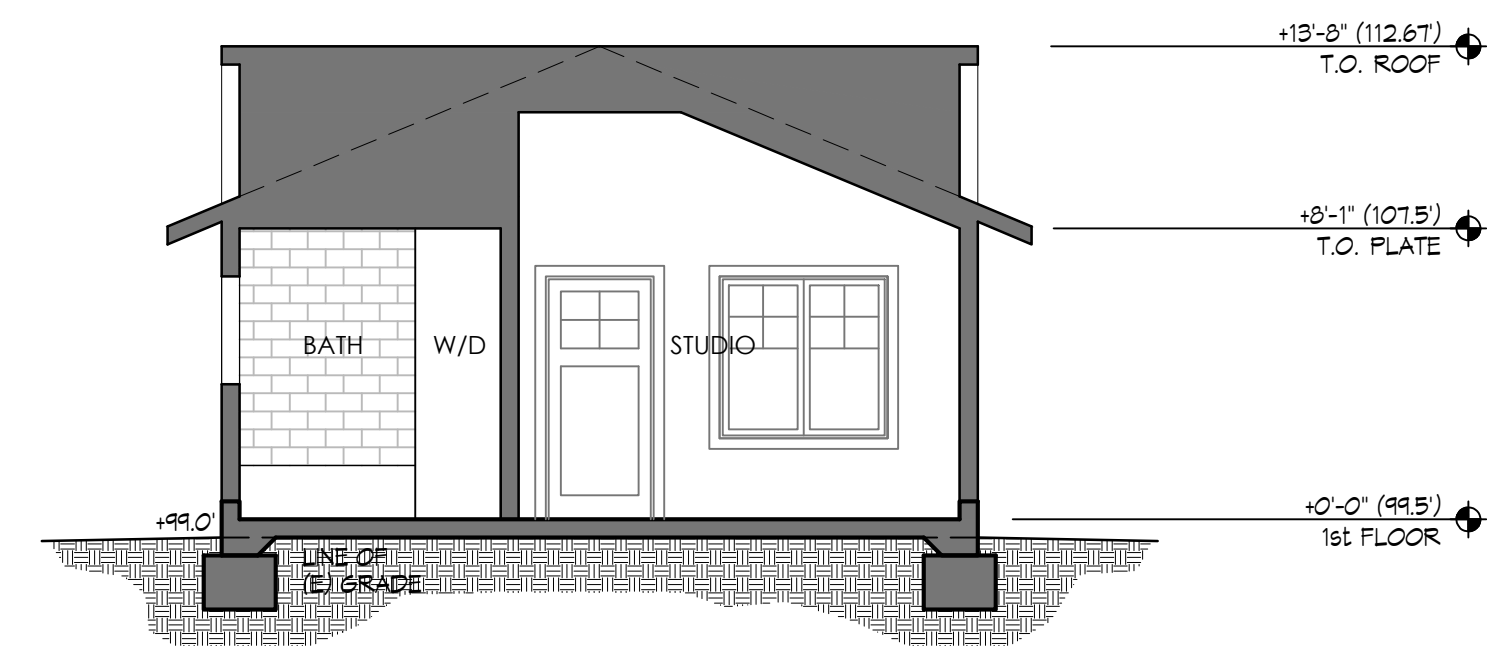
1 SECTION 3/16"=1'-0"
 0 3' 6' 12'



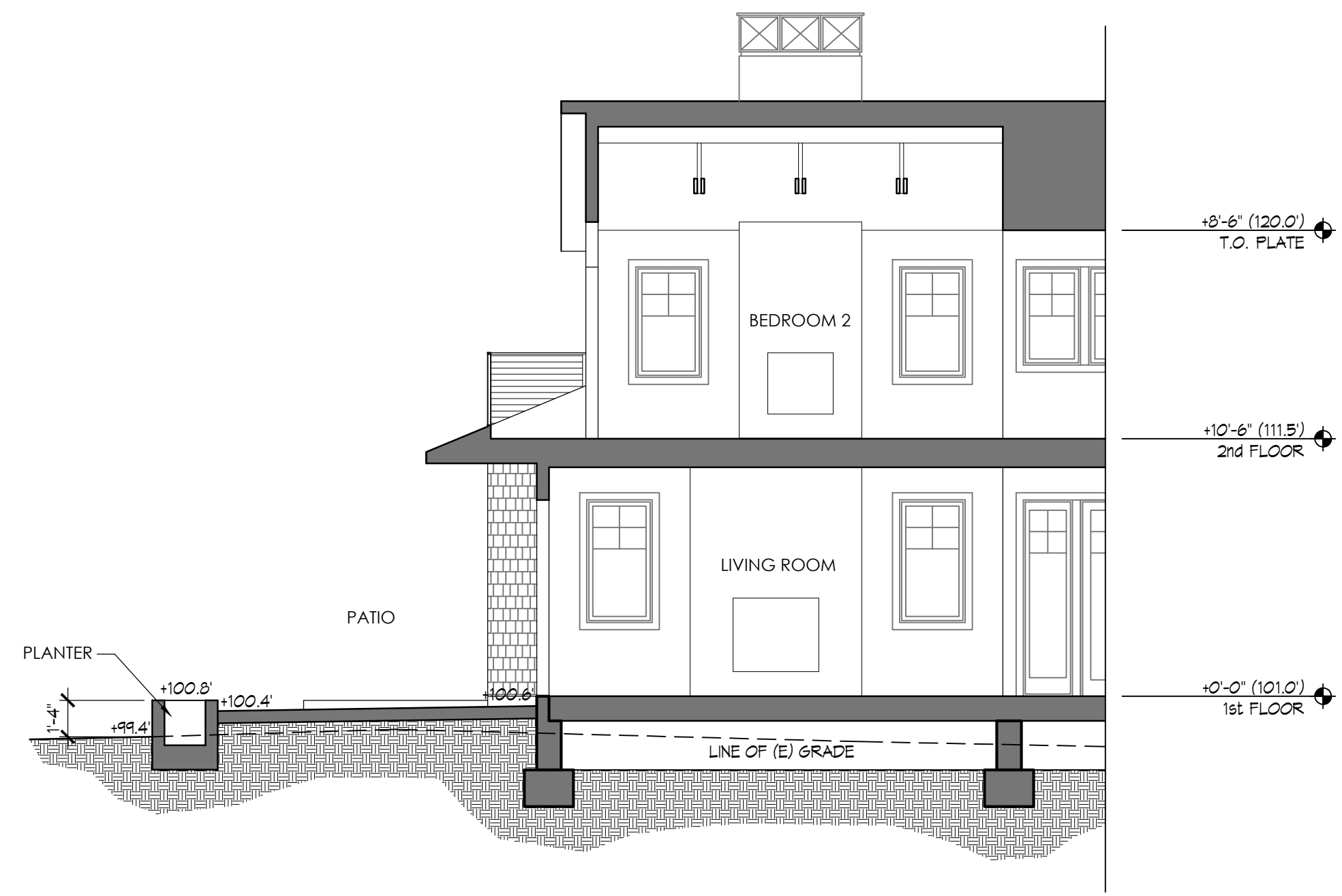
2 SECTION 3/16"=1'-0"



3 A.D.U. SECTION 3/16"=1'-0"



4 A.D.U. SECTION 3/16"=1'-0"



5 SECTION @ FRONT 3/16"=1'-0"

Kellond Architects

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 Saratoga, California 95070

408.741.0600 ph.
 408.741.0610 fax

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 OF THE ARCHITECT.

PROJECT

New Residence
 APN: 048-013-790
 Cortez Ave.
 Half Moon Bay, CA 94019

SHEET TITLE

SECTIONS

REVISIONS

No.	Date	Notes

PROJECT #: 2020.09

DATE: NOV 2021

SHEET #: SD-5

PROPOSED COVERAGE

MAIN HOUSE	1,866 S.F.
A.D.U.	367 S.F.
TOTAL	2,233 S.F.

ALLOWABLE COVERAGE

TOTAL	2,233.8 S.F.
--------------	---------------------

COVERAGE CALCS

- ① 18 S.F.
- ② 14 S.F.
- TOTAL PORCHES = 34 S.F.
- HOUSE FOOTPRINT = 1,832 S.F.
- MAIN HOUSE TOTAL = 1,866 S.F.**

PROPOSED FLOOR AREA

MAIN HOUSE	3,093 S.F.
A.D.U.	367 S.F.
TOTAL	3,460 S.F.

ALLOWABLE FLOOR AREA

TOTAL	3,574 S.F.
--------------	-------------------

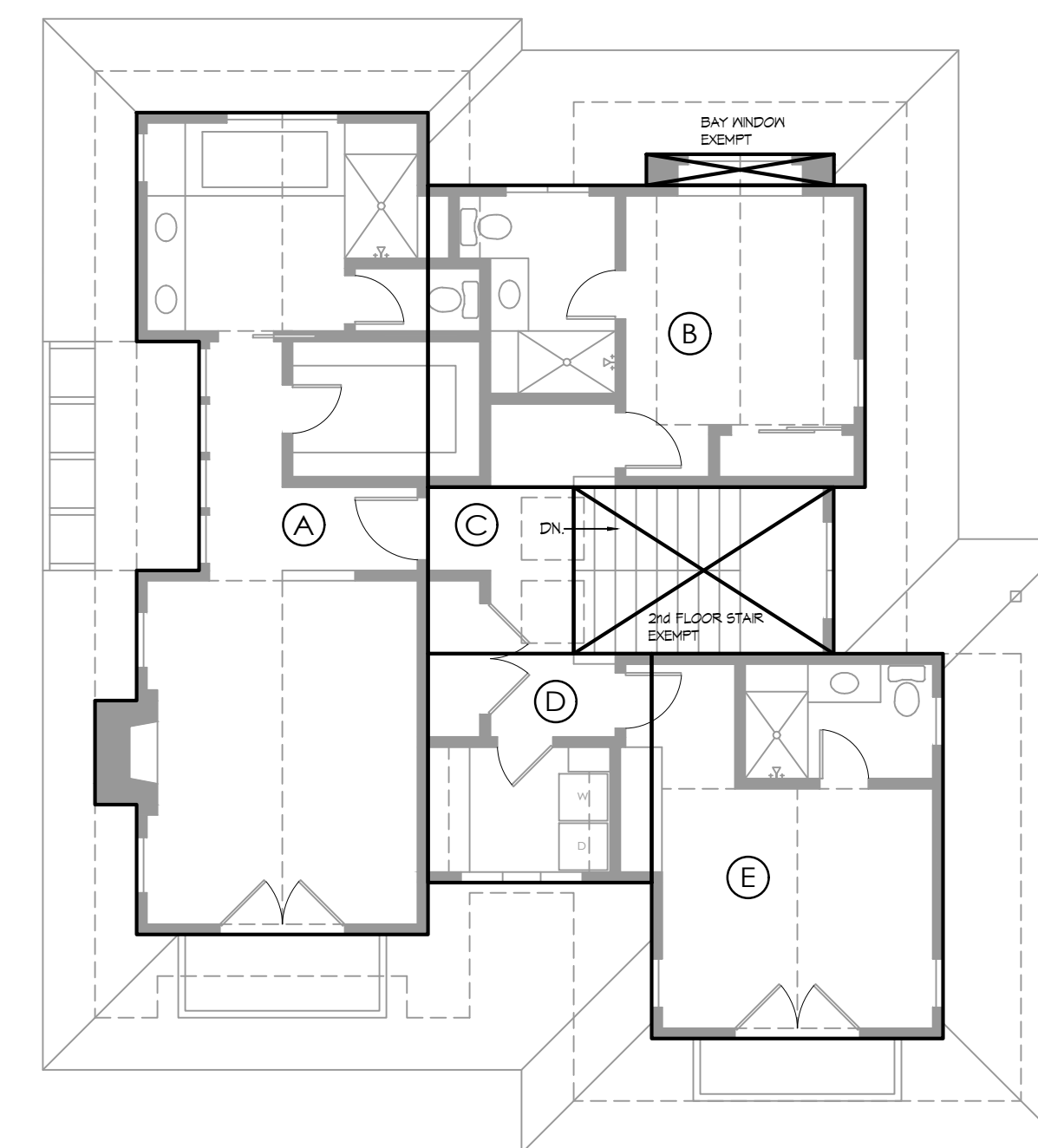
FLOOR AREA CALCS

- SECOND FLOOR
- (A) 525 S.F.
 - (B) 304 S.F.
 - (C) 55 S.F.
 - (D) 118 S.F.
 - (E) 259 S.F.
 - TOTAL = 1,261 S.F.**

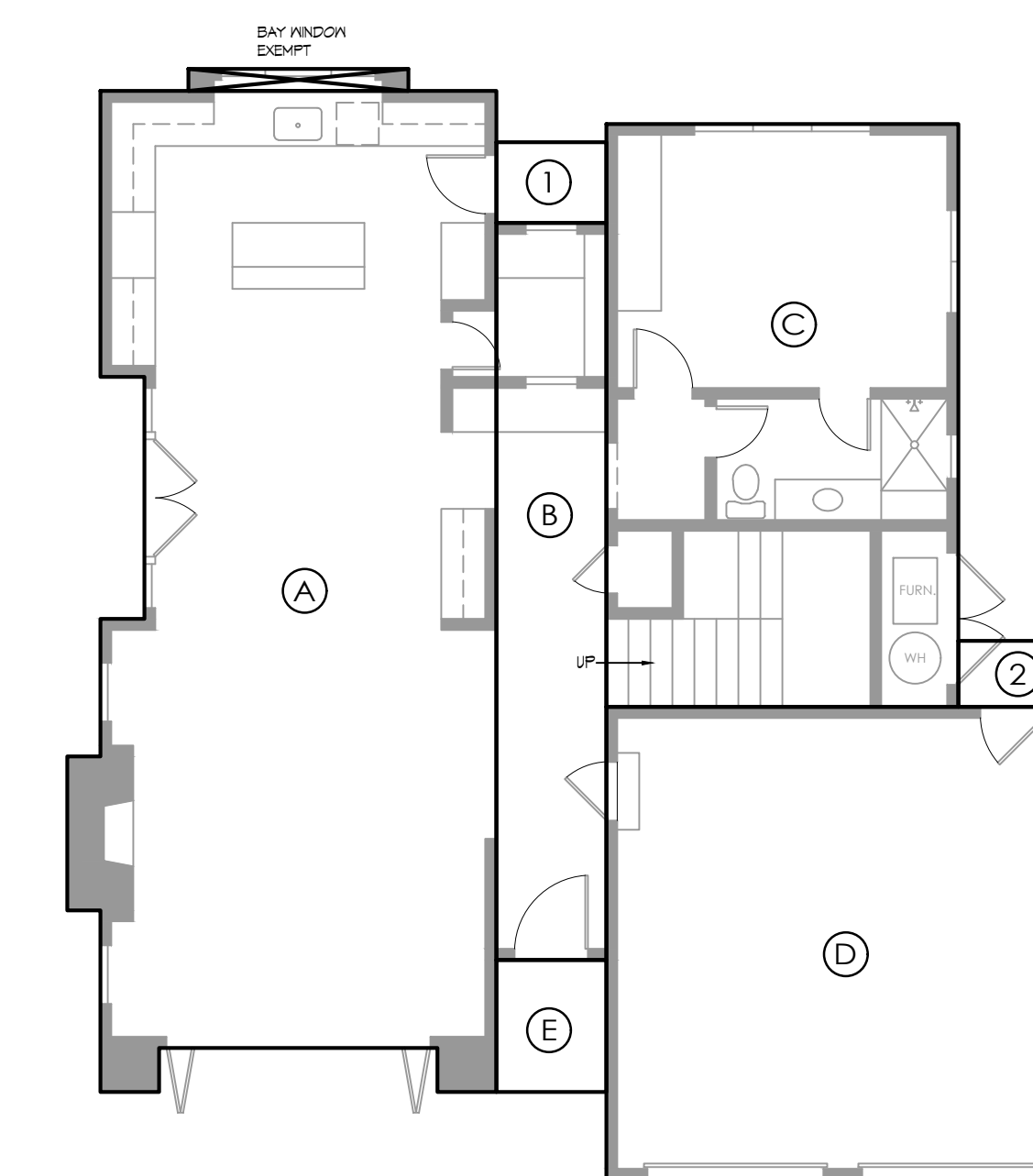
FIRST FLOOR

- (A) 749 S.F.
- (B) 167 S.F.
- (C) 424 S.F.
- (D) 462 S.F.
- (E) 30 S.F.
- TOTAL = 1,832 S.F.**

MAIN HOUSE TOTAL = 3,093 S.F.



SECOND FLOOR PLAN 1/8"=1'-0"



FIRST FLOOR PLAN 1/8"=1'-0"



Kellond Architects

14510 Big Basin Way, #205
Saratoga, California 95070

408.741.0600 ph.
408.741.0610 fax

www.kellondarchitects.com

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PROJECT

New Residence
APN: 048-013-790
Cortez Ave.
Half Moon Bay, CA 94019

SHEET TITLE

FLOOR AREA & COVERAGE

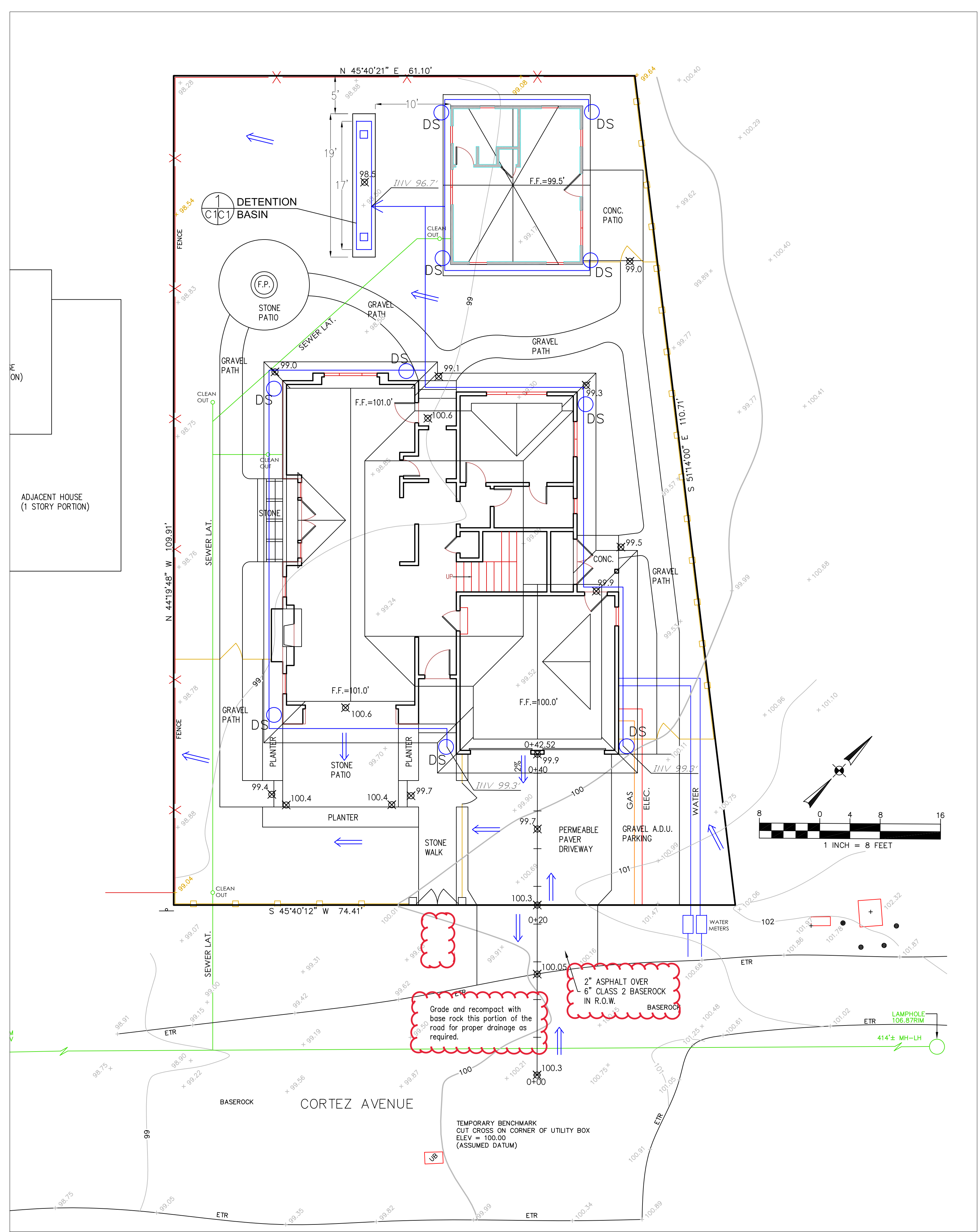
REVISIONS

No.	Date	Notes

PROJECT #: 2020.09

DATE: NOV 2021

SHEET #: SD-6



LEGEND

- (E) CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- DS DOWNSPOUT
- 4" MIN SOLID DRAIN PIPE

GENERAL NOTES

1. PLANS PREPARED AT THE REQUEST OF: BRUCE GEHRELS, OWNER
2. TOPOGRAPHY BY OTHERS, UNKNOWN DATE.
3. THIS IS NOT A BOUNDARY SURVEY.
4. ELEVATION DATUM ASSUMED.
5. THE GEOTECHNICAL REPORT: PENDING
6. STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUB-GRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS AND CALL SIGMA PRIME (650-728-3590) TO SCHEDULE DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALKAROUND.
7. ALL WORK IN COUNTY RIGHT OF WAY MUST HAVE ENCROACHMENT PERMITS AND INSPECTIONS PRIOR TO BUILDING OCCUPANCY PERMIT.

GRADING NOTES

CUT VOLUME : 40 CY (FOR FOUNDATION)
 FILL VOLUME: 0 CY

VOLUMES ABOVE ARE APPROXIMATE.

THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.

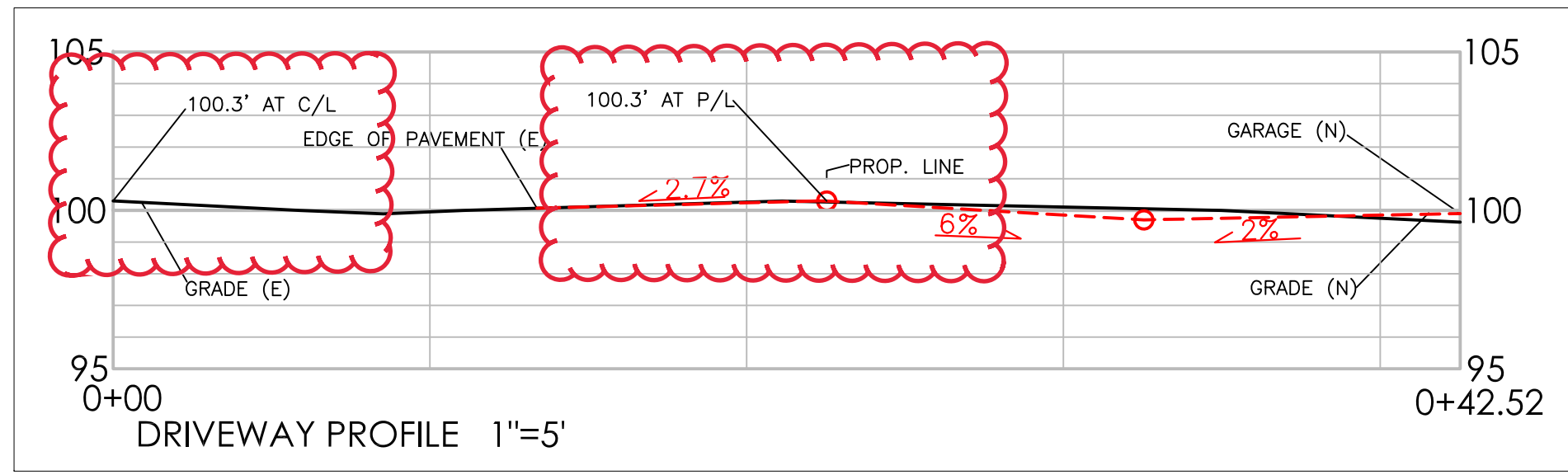
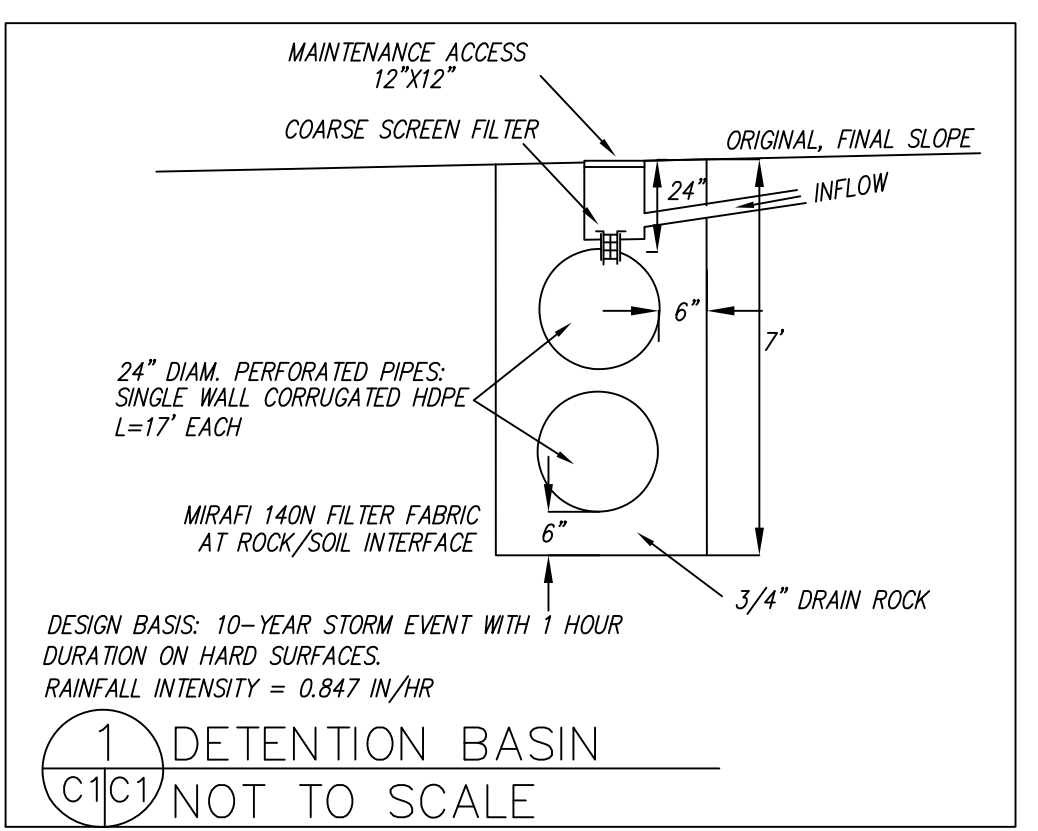
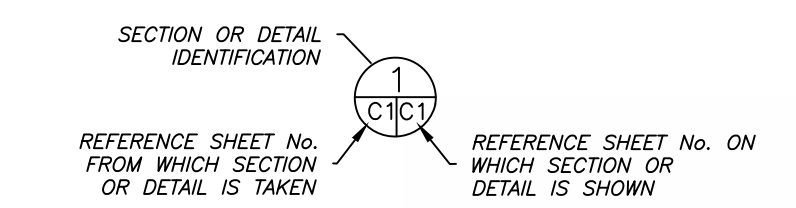
ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

DRAINAGE NOTES

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. SLOPE ALL IMPERVIOUS SURFACES A MINIMUM OF 2% AWAY FROM BUILDING. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
2. ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION BASIN, AS SHOWN.
3. ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
4. INCREASED RUNOFF SHALL NOT BE ALLOWED TO CROSS TO NEIGHBORING PROPERTIES.
5. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASIN TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

SECTION AND DETAIL CONVENTION



GRADING AND DRAINAGE PLAN

SHEET C-1

Sigma Prime Geosciences, Inc.
 SIGMA PRIME GEOSCIENCES, INC.
 332 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 (650) 728-3590
 FAX: 728-3593

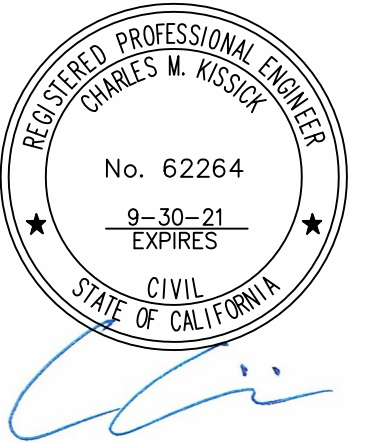
DATE: 4-29-21
 DRAWN BY: CMK
 CHECKED BY: AZG
 REV. DATE: 12/16/21
 REV. DATE:
 REV. DATE:

CORTEZ AVENUE
 APN 048-054-220

GENERAL EROSION AND SEDIMENT CONTROL NOTES



- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.



EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

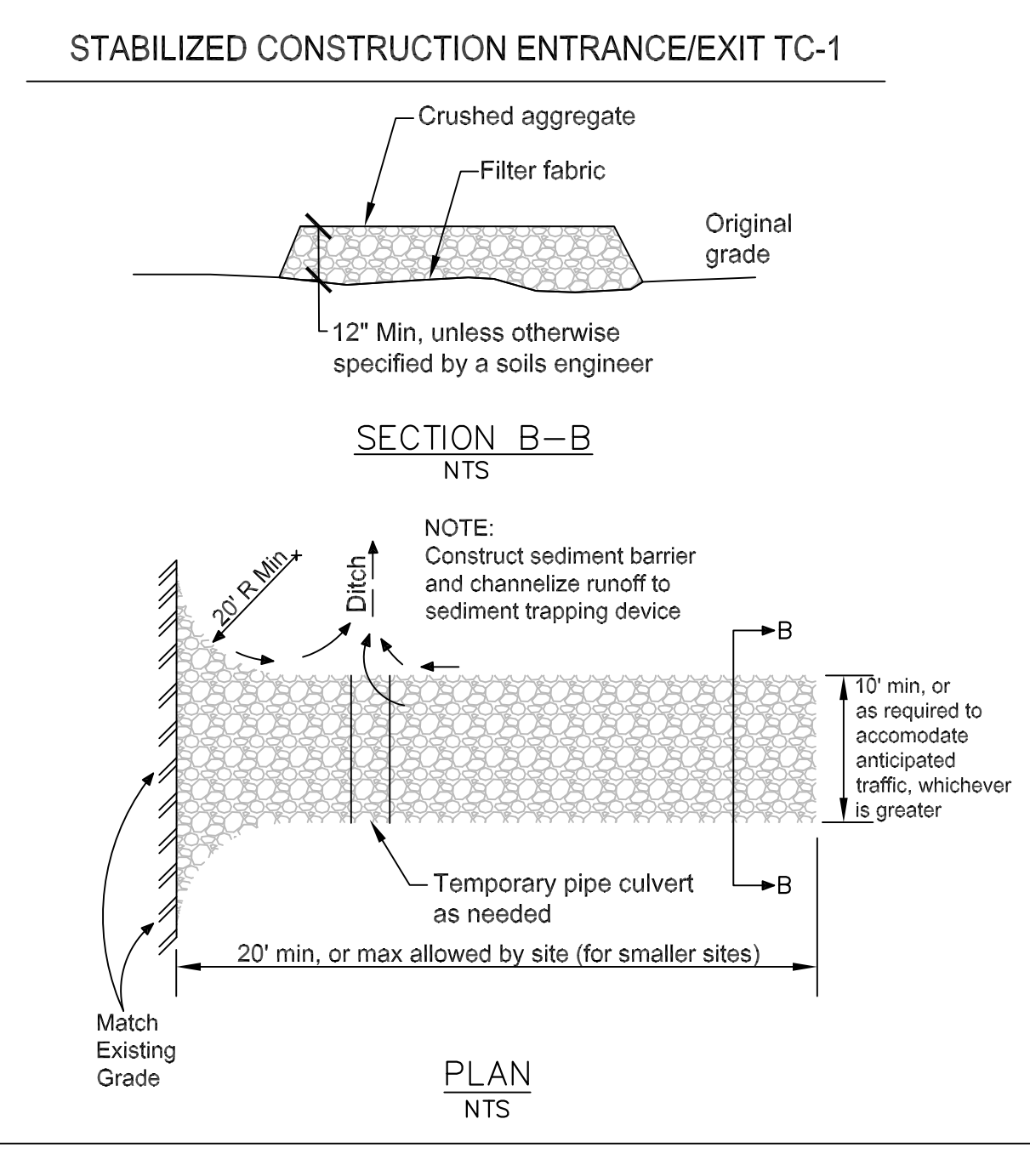
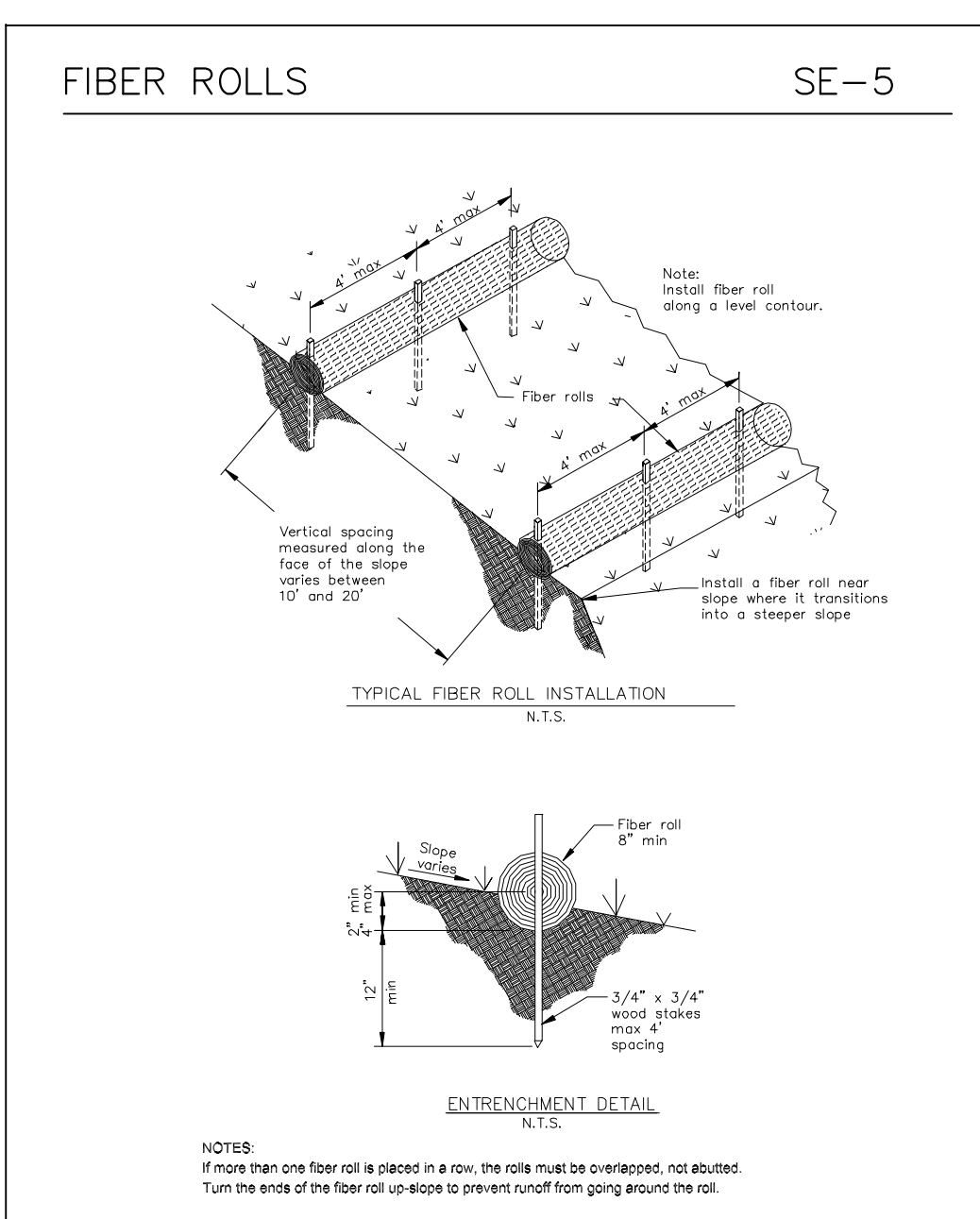
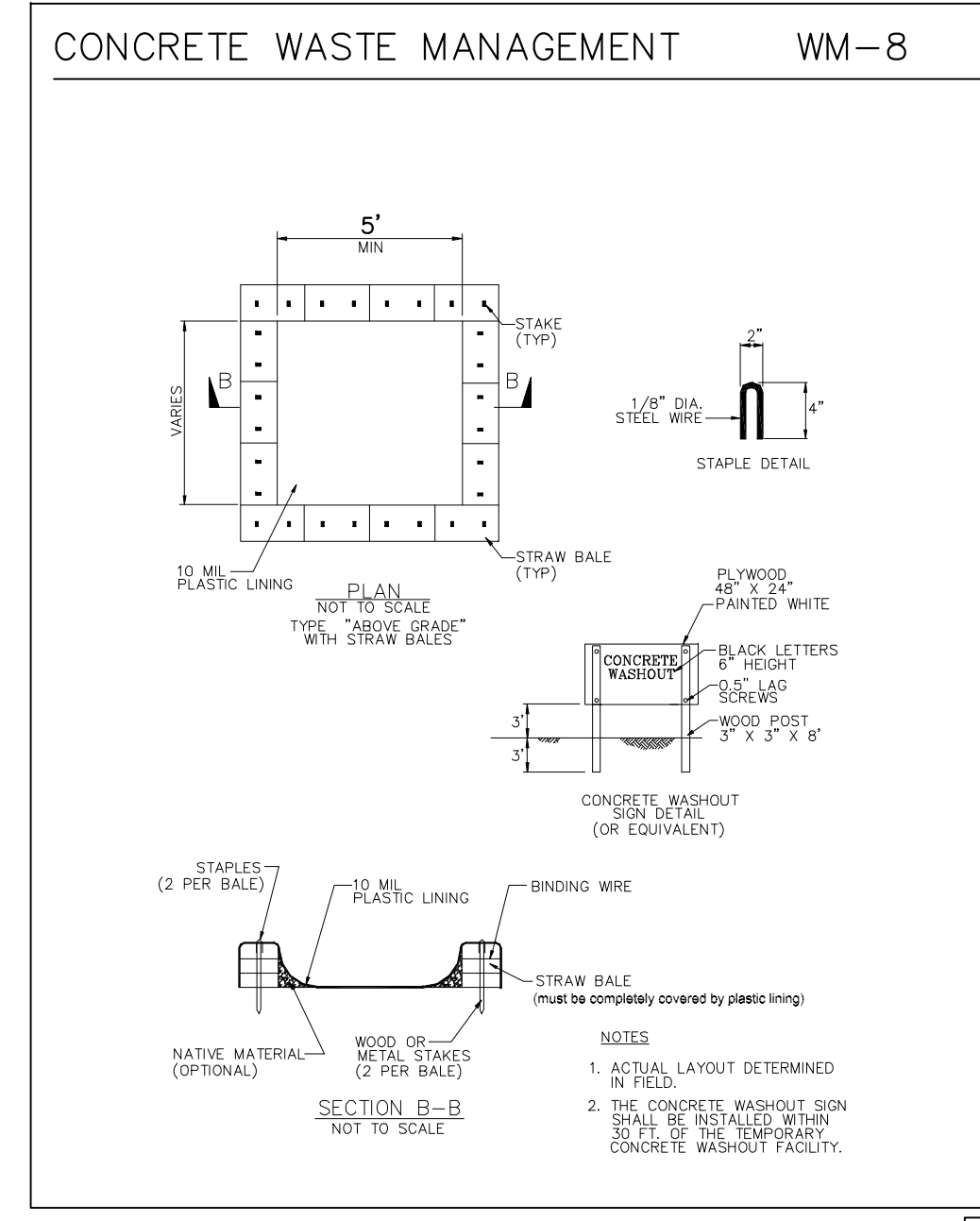
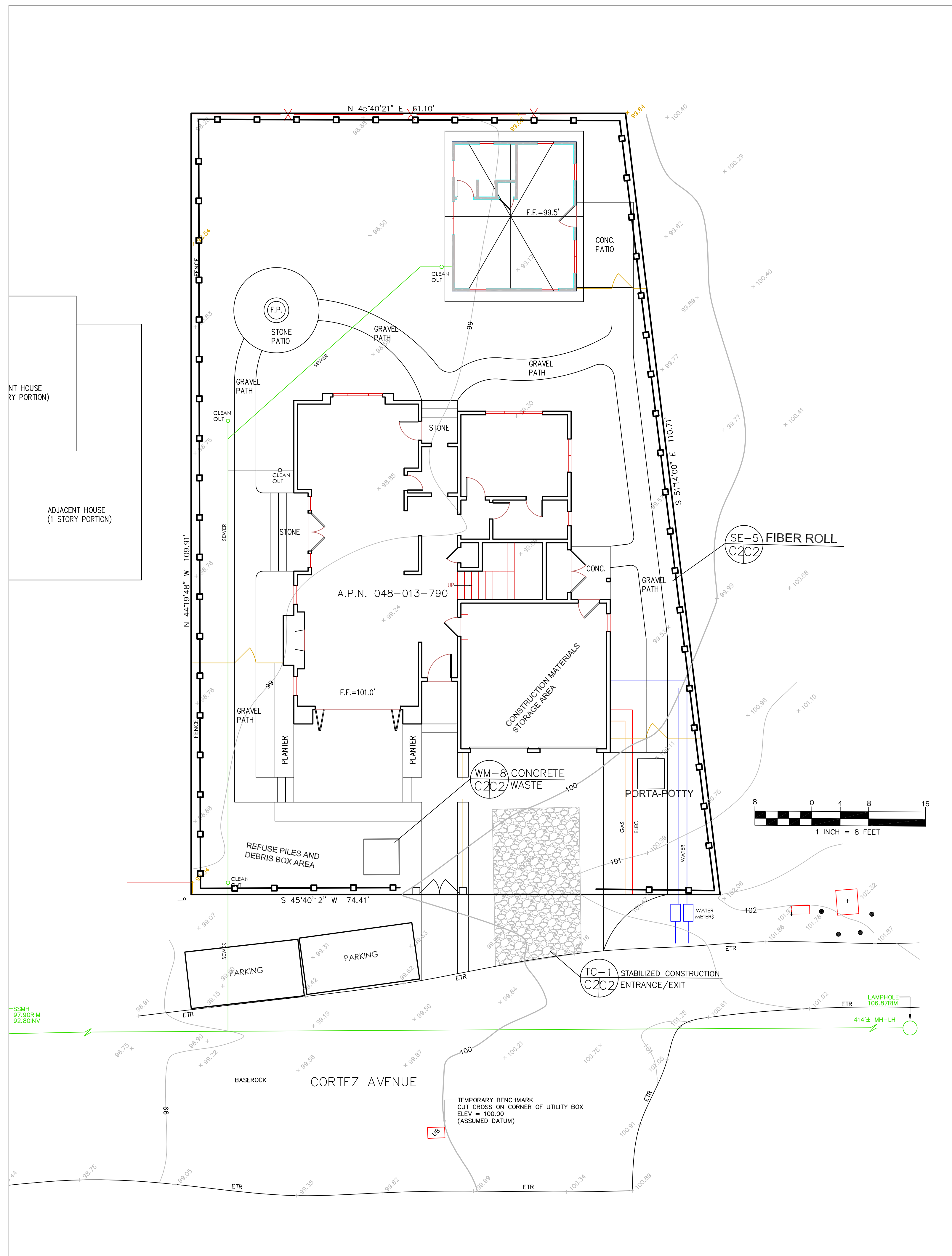
NAME: BRUCE GEHRELS
 TITLE/QUALIFICATION: OWNER
 PHONE: 650-804-2463
 PHONE:
 E-MAIL: BRUCEGEHRELS@GMAIL.COM

Sigma Prime Geosciences, Inc.
 SIGMA PRIME GEOSCIENCES, INC.
 532 PRINCETON AVENUE
 FORT MCDOWELL, CA 94019
 650-726-3830
 FAX: 726-3830

DATE: 4-29-21
 DRAWN BY: OMK
 CHECKED BY: AZG
 REV. DATE:
 REV. DATE:
 REV. DATE:

EROSION AND SEDIMENT CONTROL PLAN
 CORTEZ AVENUE
 APN 048-054-220

SHEET
 C-2





SAN MATEO COUNTYWIDE

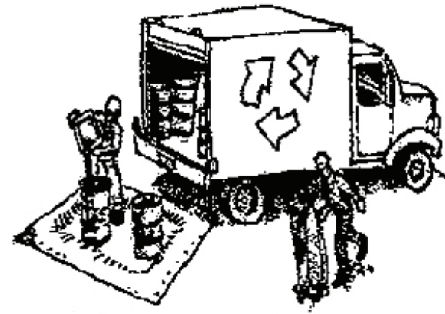
Water Pollution Prevention Program

Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



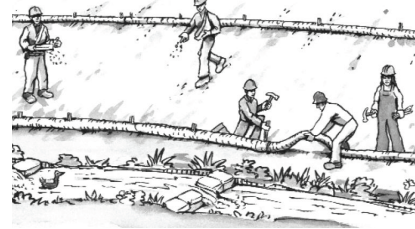
Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

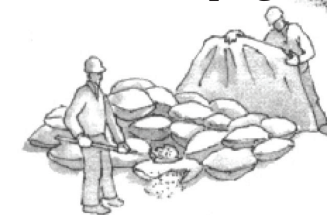
- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



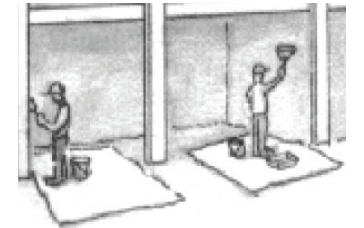
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

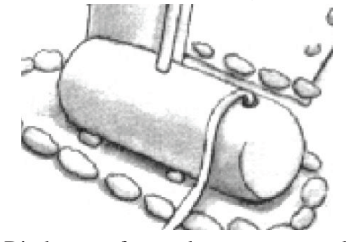
Painting & Paint Removal



Painting Cleanup and Removal

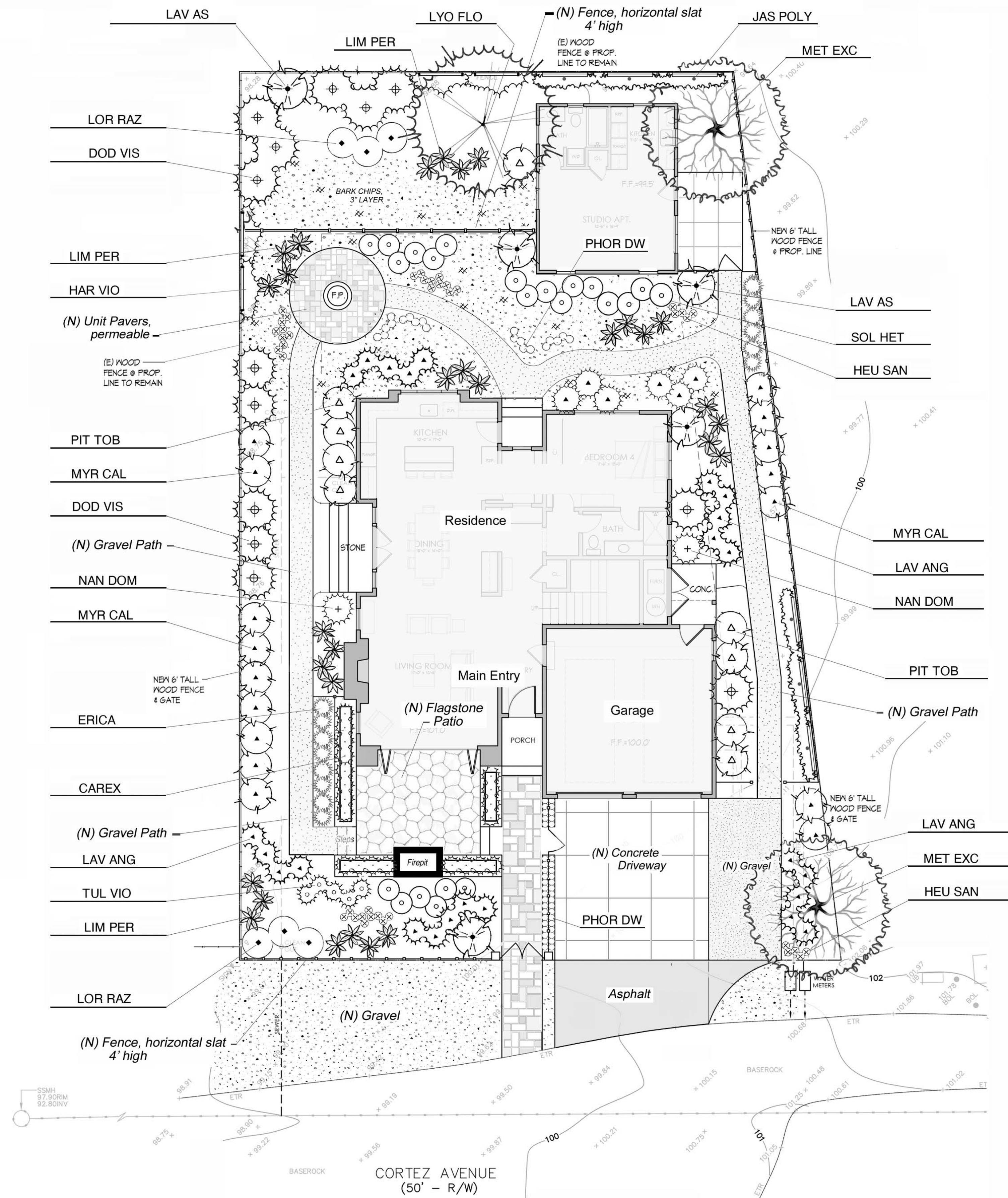
- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!



Plant List

No.	Botanical Name	Common Name	Qty*	Size	WU	Plant Type
MET EXC	Metrosideros excelsus	New Zealand	2	15 Gal	L	Evgn Tree
LYO FLO	Lyonothamnus floribundus ssp. asplenifolius	Fernleaf Catalina Ironwood	1	24" Box	L	Evgn Tree
CAREX	Carex tumulicola	Foothill Sedge	1	Gal	L	Sedge
DOD VIS	Dodonaea viscosa	Hopseed Bush	5	Gal	L	Evgn Shrub
ERICA	Erica camea	Heather	1	Gal	L	Low Shrub
HAR VIO	Hardenbergia violacea	Lilac Vine	15	Gal	M	Evgn Vine
HEU SAN	Heuchera sanguinea	Coral Bells	1	Gal	L	Perennial
LAV ANG	Lavendula angustifolia	English Lavender	1	Gal	L	Low Shrub
LAV AS	Lavatera assurgentifolia	Tree Mallow	5	Gal	L	Evgn Shrub
LIM PER	Limonium perezii	Sea Thrift	1	Gal	L	Perennial
LOR RAZ	Loropetalum 'Razzeberry'	N C N	5	Gal	L	Evgn Shrub
MYR CAL	Myrica californica	Pacific Wax Myrtle	5	Gal	L	Evgn Shrub
NAN DOM	Nandina domestica	Heavenly Bamboo	5	Gal	L	Evgn Shrub
PHOR DW	Phormium Dwarf Red	Miniature Red Flax	1	Gal	L	Evgn Sub-shrub
PIT TOB	Pittosporum tobira	Variegated Japanese Pittosporum	5	Gal	L	Evgn Shrub
RHODO	Rhododendron	Rhododendron	5	Gal	M	Evgn Shrub
SOL HET	Sollya heterophylla	Australian Bluebells	1	Gal	L	Evgn Sub-shrub
TUL VIO	Tulbaghia violacea	Society Garlic	1	Gal	L	Perennial
JAS POLY	Jasminum polyanthem	Pink Flowering Jasmine	15	Gal	M	Evgn Vine

Note: Contractor to verify quantities.

PLANTING NOTES

- CONTRACTOR SHALL CONTACT UNDERGROUND SERVICES ADMINISTRATION PRIOR TO EXCAVATION AND GRADING.
- ALL PLANTING AREAS SHALL BE CLEARED OF WEEDS AND OTHER DEBRIS. THE CONTRACTOR SHALL VERIFY WITH THE OWNER WHICH EXISTING PLANTS ARE TO REMAIN. EXISTING PLANTS TO BE REMOVED SHALL BE VERIFIED WITH OWNER PRIOR TO REMOVAL. ALL IVY IN PROJECT AREA SHALL BE REMOVED; IVY SHALL BE SPRAYED WITH HERBICIDE TWO WEEKS PRIOR TO REMOVAL.
- SOIL TESTING SHALL BE UNDERTAKEN BY THE CONTRACTOR, AND PERFORMED BY A CERTIFIED LABORATORY. A COPY OF THE REPORT SHALL BE PROVIDED TO THE OWNER AND LANDSCAPE ARCHITECT. RECOMMENDATIONS FOR AMENDMENTS AND FERTILIZATION SHALL REFLECT THE NUTRIENT REQUIREMENTS OF SPECIFIED PLANT SPECIES.
- SOIL AMENDMENTS SHALL BE FREE OF DEBRIS SUCH AS LITTER, BROKEN CLAY POTS, AND OTHER FOREIGN MATERIAL. ROCKS LARGER THAN ONE INCH DIAMETER WILL NOT BE PERMITTED. SOIL AMENDMENTS SHALL HAVE THE FOLLOWING CONTENT: REDWOOD NITRIFIED COMPOST 40%, COARSE SAND 30%, BLACK TOPSOIL 30%.
- PLANT HOLES SHALL BE DOUBLE THE SIZE OF THE CONTAINER (generally). THE WALLS AND BASES OF PLANT HOLES SHALL BE SCARIFIED. HOLES SHALL BE BACKFILLED WITH THE FOLLOWING MIXTURE: 80% TO 20% IMPORTED SOIL TO EXISTING SOIL.
- SOIL BERMS SHALL BE FORMED AROUND ALL PLANTS 1 GALLON SIZE AND LARGER. BASINS SHALL BE MULCHED WITH A 3" LAYER OF BARK CHIPS, MINIMUM OF 1" IN SIZE. PLANTING AREAS SHALL BE COVERED WITH A TWO INCH LAYER OF BARK CHIPS.
- ALL PLANTS SHALL BE FERTILIZED. FERTILIZER SHALL BE COMMERCIALY AVAILABLE TYPE, AGRIFORM OR EQUIVALENT. APPLICATION SHALL BE ACCORDING TO MANUFACTURER'S INSTRUCTIONS. RESIDUAL WEED PRE-EMERGENT SHALL BE APPLIED BY THE CONTRACTOR. APPLICATION SHALL BE ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- TREES SHALL BE STAKED WITH TWO PRESSURE TREATED 2" DIAMETER POLES. TREE TRUNK SHALL BE SECURED WITH TWO RUBBER TIES OR STRAPS FORMING A FIGURE-EIGHT BETWEEN

PREPARED BY: BRUCE A. CHAN CA RLA #2324
 923 ARGUELLO STREET, SUITE 200
 REDWOOD CITY CA 94063
 650-346-7645 650-367-8139 (FAX)
 bacla@sbcglobal.net

"I have complied with the criteria of the ordinance and applied them accordingly for efficient use of water in the irrigation design plan."

Signed *Bruce A. Chan*

1 Planting Plan

SCALE 1/8" = 1'0"

NORTH

Bruce A. Chan
 Landscape Architect
 CA Lic. # 002324

923 Arguello Street, Suite 200
 Redwood City, California 94063

Tel (650) 346-7645
 Fax (650) 367-8139
 Email: bacla@sbcglobal.net

Landscape Architecture
 Environmental Design
 Site Planning



New Residence
 APN: 048-013-790
 Cortez Ave.
 Half Moon Bay, CA 94019

TITLE
Landscape Plan

REVISIONS

Date	Notes

PROJECT #:
 DATE: 6-22-21
 SHEET #:
L 1.1

IRRIGATION MAINTENANCE SCHEDULE

General System Components	Frequency			
	Weekly	Monthly	Quarterly	Annually
1 Check that the controller program is correct.		X		X
2 If the controller has battery backup power, replace the battery yearly.		X		
3 Operate each station to make sure valves are opening and closing properly. Open the valve box while the system is running and check for valve leaks.		X		
4 Check for leaks, standing water, soggy ground and eroded soil.		X		
5 Inspect filter screens for holes or calcium buildup. Replace if it has holes, and soak screen in a 50-50 vinegar-water solution to remove calcium.			X	
6 After making all repairs or adjustments, flush each line for about a minute. Do this by removing the end-cap and turning on the valve (there should be a removable exposed cap at the end of each line, or sometimes the irrigation tubing is just kinked over and held in place).			X	

Sprinklers				
7 Replace broken or missing sprinkler heads. Don't mix head types on the same system.	X			
8 Check that sprinkler heads are flush with the soil surface and straight.		X		
9 Clear grass, plants and other obstructions that block sprinkler spray.	X			
10 Adjust sprinkler heads so there is no overspray; such that there is no water spray hitting walls, driveways or sidewalks.	X			
11 Perform a sprinkler test (or audit) to evaluate run times for each irrigation circuit for greatest water efficiency.				X

Drip or Bubbler System				
12 Turn on the system 20-30 minutes before and during the inspection to allow enough time for emitter wetting patterns to show.		X		
13 Fix and replace clogged or missing emitters.		X		
14 Repair or replace damaged bubblers. Some bubblers are adjustable. Check flow for proper setting.	X			
15 Move emitters out to drip line as plants grow or adjust bubbler basin sizes.			X	

IRRIGATION STATION RUN TIMES

Station/ Valve	Description	Type	Frequency						
			Winter	Spring	Summer	Fall			
1	Shrubs & Groundcover	Drip	Sat Tu Th Off	Sat Tu Th 20 min	Sat Tu Th 30 min	Sat Tu Th 15 min			
2	Shrubs & Groundcover	Drip	Sat Tu Th Off	Sat Tu Th 20 min	Sat Tu Th 30 min	Sat Tu Th 15 min			
3	Lawn	Spray	Su M W F Off	Su M W F 15 min	Su M W F 15 min	Su M W F 10 min			
4	Shrubs & Groundcover	Drip	Sat Tu Th Off	Sat Tu Th 20 min	Sat Tu Th 30 min	Sat Tu Th 15 min			
5	Shrubs & Groundcover	Drip	Sat Tu Th Off	Sat Tu Th 20 min	Sat Tu Th 30 min	Sat Tu Th 15 min			
6	Trees	Drip	Sat Tu Th Off	Sat Tu Th 20 min	Sat Tu Th 30 min	Sat Tu Th 20 min			

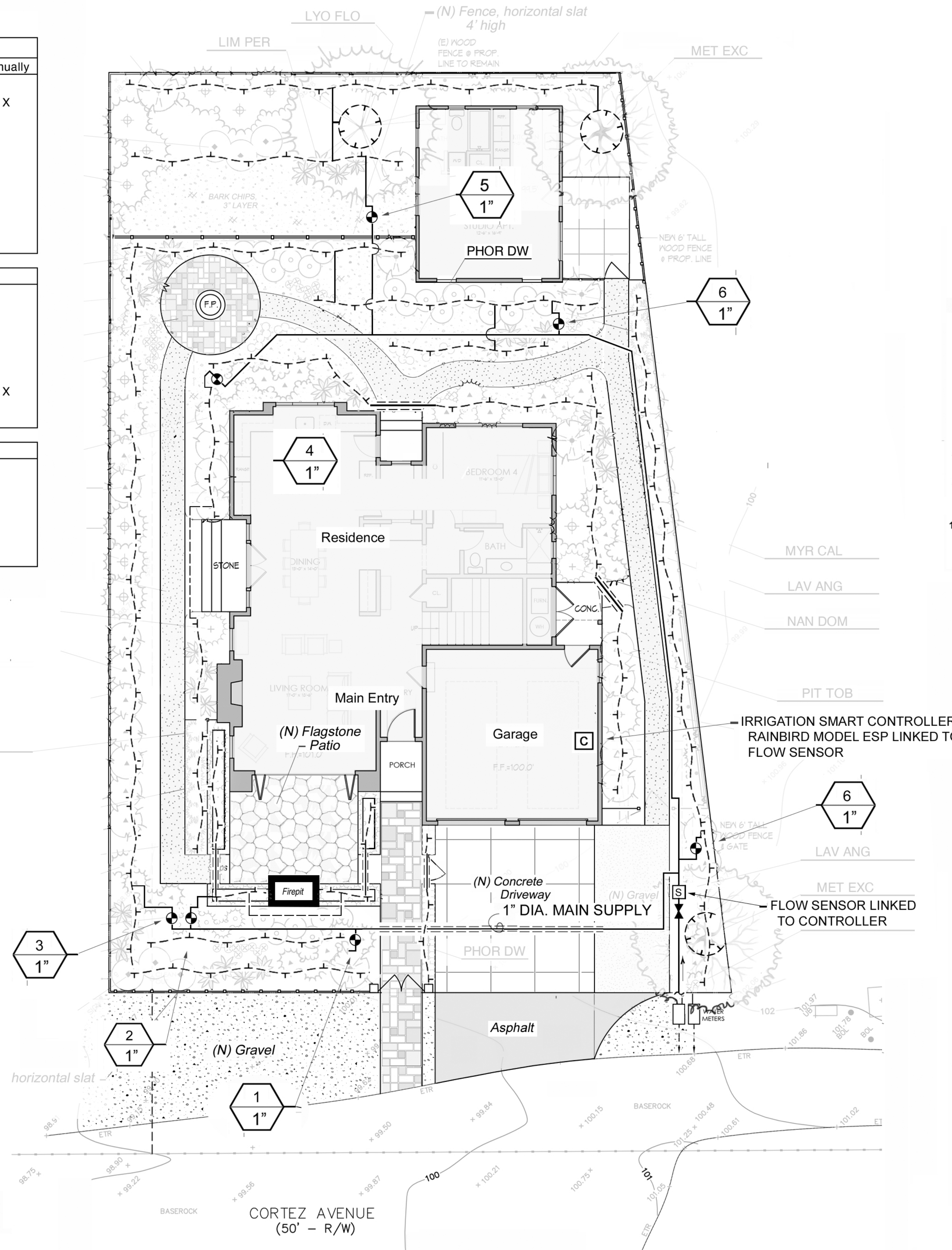
Note: All run times to be adjusted as necessary

PRESCRIPTIVE APPROACH SAN MATEO COUNTY
(For 500 – 2,500 sq ft of new landscape area or aggregate new and rehabilitated landscape area OR 2,500 sq ft of rehabilitated landscape area)

WELO COMPLIANCE NOTES

- Planting**
- A minimum 3-inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated.
 - Turf not to exceed 25% of the landscape area in residential areas.
 - No turf permitted in non-residential areas.
 - Turf not permitted on slopes greater than 25%.
 - Turf is prohibited in parkways less than 10 feet wide.

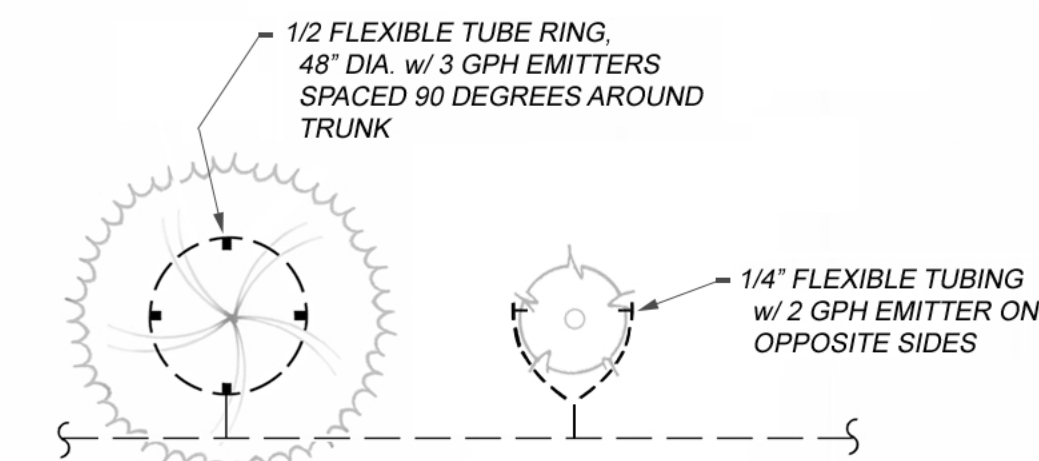
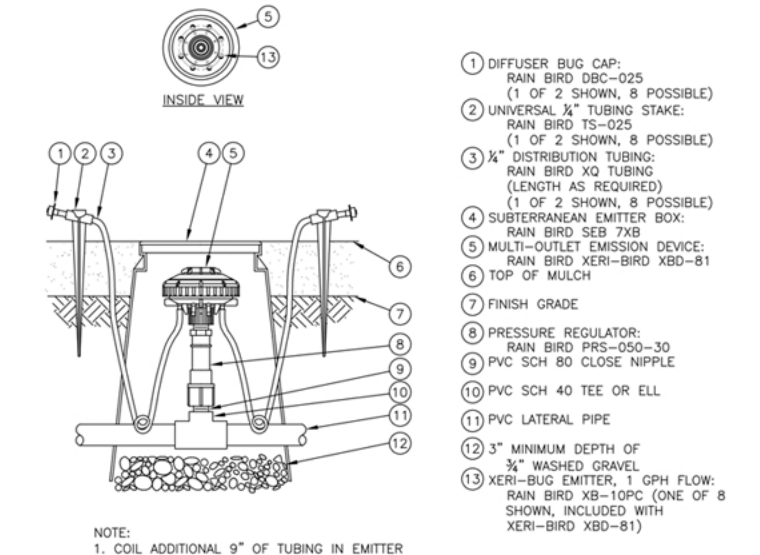
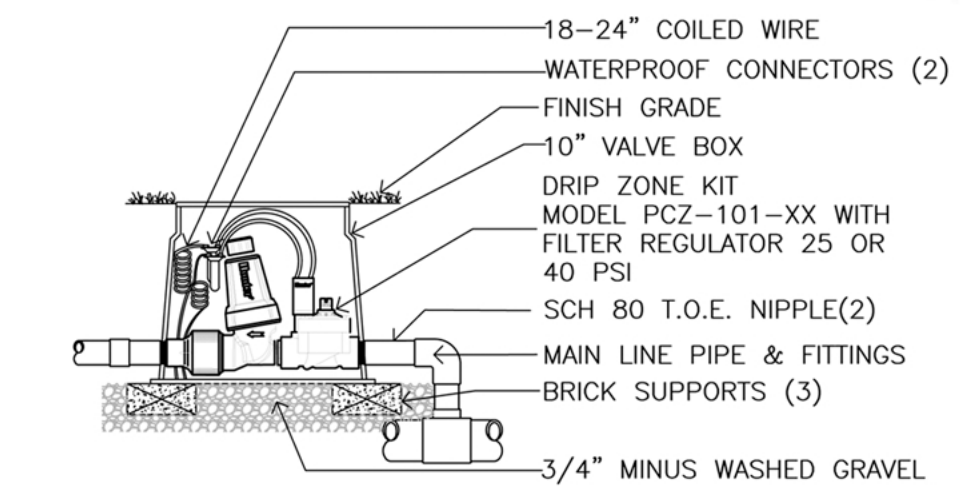
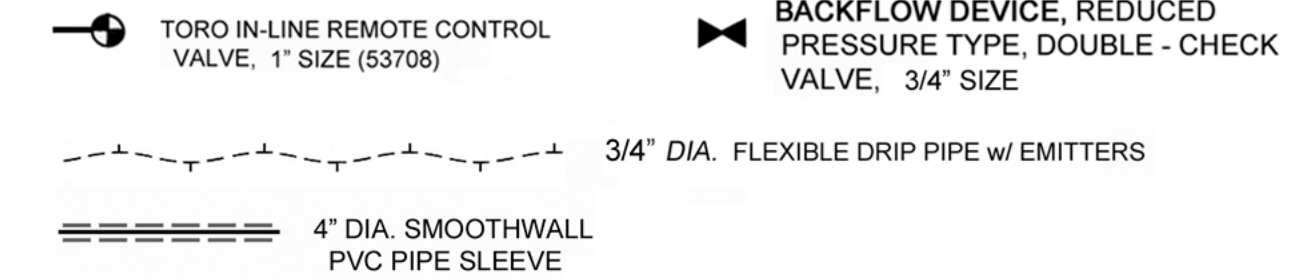
- Irrigation**
- An automatic weather-based or soil-moisture based irrigation controller shall be installed on the irrigation system.
 - Pressure regulators shall be installed on the irrigation system to ensure dynamic pressure of the system is within the manufacturer's recommended pressure range.
 - Manual shut-off valves shall be installed as close as possible to the point of connection of the water supply.
 - Areas less than 10 feet in width in any direction shall be irrigated with subsurface irrigation or other means that produces no runoff or overspray.
 - For non-residential projects with landscape areas of 1,000 sq. ft. or more, private submeter(s) to measure landscape water use shall be installed.
 - At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of complete, certificate of installation, irrigation schedule of landscape and irrigation maintenance.
 - Unless contradicted by a soils test, compost at a rate of a minimum of four cubic yards per 1,000 sq. ft. of permeable area shall be incorporated to a depth of six inches into the soil.



1 Irrigation Plan
SCALE 1/8" = 1'0"
NORTH

IRRIGATION SYSTEM DESIGN CRITERIA

- AN AUTOMATICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE INSTALLED ACCORDING TO LOCAL ORDINANCES AND BUILDING CODES. THE SYSTEM SHALL CONSIST OF A DUAL PROGRAM CONTROLLER WITH RAIN SWITCH AND WATER BUDGETING FEATURE.
- AN APPROVED BACKFLOW PREVENTER SHALL BE INSTALLED, IF NECESSARY, PER LOCAL CODES AND MANUFACTURER'S INSTRUCTIONS. THE BACKFLOW DEVICE SHALL BE A REDUCED PRESSURE DOUBLE CHECK TYPE INSTALLED IN A LOCKABLE ENCLOSURE. THE BACKFLOW DEVICE SHALL BE LOCATED IN THE VICINITY OF THE WATER METER, IF POSSIBLE. VALVES SHALL BE MANUFACTURED BY HUNTER OR RAIBIRD. DRIP EMITTERS, BUBBLERS, & SPRINKLER HEADS SHALL BE MANUFACTURED BY HUNTER OR RAIBIRD.
- MAIN SUPPLY LINES SHALL BE PVC SCHEDULE 40, SIZE AS NOTED, BURIED 24" DEEP. LATERAL SUPPLY LINES SHALL BE 3/4" DIA. UNLESS OTHERWISE NOTED, BURIED 18" DEEP. SOAKER PIPE SHALL BE BURIED 10" DEEP.
- CONTRACTOR SHALL LOCATE UNDERGROUND SERVICES PRIOR TO PERFORMING ANY EXCAVATION.
- REMOTE CONTROL VALVES SHALL BE 1" WHEN CONNECTED TO MAIN SUPPLY LINES OF SAME SIZE, AND SUPPLY A TOTAL NUMBER OF HEADS NOT TO EXCEED 14 GALLONS PER MINUTE DISCHARGE FOR THE CIRCUIT.
- A INTEGRATED CHECK VALVE SHALL BE INSTALLED INTO THE LOWEST SPRINKLER HEAD ON EACH CIRCUIT.
- CONTRACTOR SHALL FLUSH ALL PIPES PRIOR TO INSTALLING SPRINKLER HEADS AND PRESSURE TEST THE MAIN SUPPLY LINE. A THOROUGH CHECK FOR ANY LEAKS SHALL BE PERFORMED. THE ENTIRE SYSTEM SHALL BE CHECKED FOR LEAKS PRIOR TO BACKFILLING OF TRENCHES.
- FOR DRIP IRRIGATION CIRCUITS, A PRESSURE REDUCING DEVICE AND IN-LINE FILTER SHALL BE INSTALLED. THE END OF THE SUPPLY LINE SHALL BE FURNISHED WITH A BALL VALVE.
- CONTRACTOR SHALL MAKE ADJUSTMENTS TO THE CLOCK WATERING CYCLE AND DURATION TO PREVENT RUN-OFF. HEADS SHALL BE ADJUSTED SO THAT SPRAY DOES NOT HIT EXISTING TREE TRUNKS.
- THIS PLAN IS DIAGRAMATIC. THE CONTRACTOR SHALL MAKE FIELD ADJUSTMENTS AS NECESSARY TO ENSURE PROPER COVERAGE AND WATERING TO EACH PLANT. ADDITIONAL SPRINKLER HEADS OR EMITTERS SHALL BE FURNISHED AT THE CONTRACTOR'S EXPENSE TO ACHIEVE THIS.



PREPARED BY: BRUCE A. CHAN CA RA #2324
923 ARGUELLO STREET, SUITE 200
REDWOOD CITY CA 94063
650-346-7645 650-367-8139 (FAX)
bacla@sbcglobal.net

"I have complied with the criteria of the ordinance and applied them accordingly for efficient use of water in the irrigation design plan."

Signed: *Bruce A. Chan*

Bruce A. Chan
Landscape Architect
CA Lic. # 002324
923 Arguello Street, Suite 200
Redwood City, California 94063
Tel (650) 346-7645
Fax (650) 367-8139
Email: bacla@sbcglobal.net
Landscape Architecture
Environmental Design
Site Planning



New Residence
APN: 048-013-790
Cortez Ave.
Half Moon Bay, CA 94019

TITLE
Irrigation Plan

REVISIONS

Date	Notes
1	
2	
3	
4	

PROJECT #:
DATE: 6-22-21
SHEET #: